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Department of Community Development

Planning Commission
February 8, 2016 at 7:00 p.m.
Christine Nuernberg Hall
Mequon City Hall
11333 N. Cedarburg Road
AGENDA

1. a. Call to Order, Roll Call
- b. Approval of the January 11, 2016 meeting minutes.

Consent

2. WE Energies

Address: 7980 W. Donges Bay Road Tax Key: #14-028-16-005.00 Zoning: R-4 District: #4

Request: 1. Road Reservation Vacation

Briefing: The applicant is seeking a road reservation vacation to remove a 30' road reservation for the property located at 7980 W. Donges Bay Road.

3. Fiddleheads Coffee

Address: 10530 N. Port Washington Road Tax Key: #15-179-0001.000 Zoning: B-4/PUD District: #8

Request: 1. Master Sign Plan Amendment

Briefing: The applicant is seeking master sign plan amendment approval to allow for signage on two awnings, 8 square feet in area, at the property located at the 10530 N. Port Washington Road.

Public Hearing

4. P2 Development Company, Bob Bach / Lakeside Development

Addresses: 6809 W. Mequon Rd. Tax Key: #14-027-05-001.00 Zoning: AC/PUD District: #4
6835 W. Mequon Rd. Tax Key: #14-027-02-015.00
6729 W. Mequon Rd. Tax Key: #14-027-02-002.00

Request: 1. Conditional Use Grant
 2. Building/Site Plan
 3. Certified Survey Map
 4. Specimen Tree Removal

Briefing: The applicant is seeking conditional use grant, building/site plan, certified survey map and specimen tree removal (2 trees) approval for a three story 88 unit multiple family residential development located at 6729-6835 W. Mequon Road.

5. Robert Niebauer for Lakeside Development

Addresses: 6809 W. Mequon Rd. Tax Key: #14-027-05-001.00 Zoning: AC/PUD District: #4
6835 W. Mequon Rd. Tax Key: #14-027-02-015.00

- Request:**
1. Conditional Use Grant
 2. Building/Site Plan

Briefing: The applicant is seeking conditional use grant and building/site plan approval for a three story 60-unit assisted living care facility located at 6729-6835W. Mequon Road.

Regular Business

6. Mequon Town Center LLC

Address: 11205 – 11315 N. Cedarburg Road Tax Key: #14-050-02-05-003 Zoning: TC District: #2
5900 – 6048 W. Mequon Road Tax Key: #14-050-02-04-001

- Request:**
1. Development Agreement Amendment

Briefing: The applicant is seeking development agreement amendment for the property located at the northwest corner of Cedarburg Road and Mequon Road in Town Center to extend the timeline for Phase II project completion: Café Hollander.

7. Dan Mikolajczak

Address: 8677 W. Freistadt Road Tax Key: #14-021-06-009.00 Zoning: R-1/OA, C-1/FW District: #3

- Request:**
1. Remove from Table
 2. Minor Request - Accessory Structure + 1,000 sq. ft,

Briefing: The applicant is seeking accessory structure approval for a new storage building at the property located at 8677 Freistadt Road.

8. Tom Zabjec for Lakeside Development Company /Oriole Lane

Addresses: Land immediately south of 11104 Oriole Lane. Zoning: R-3, IPS, PUD, C-2 District: #6
Tax Key: #15-030-02-023.00 #15-030-02-022.00
#15-030-02-020.00 #15-030-02-021.00
#15-030-03-024.00

- Request:**
1. Rezoning Recommendation
 2. Concept Plan

Briefing: The applicant is seeking rezoning recommendation and concept plan approval to allow 9 lots for a single-family residential subdivision on a 10-acre property located immediately south of 11104 Oriole Lane.

9. Sarah Chudnow

Addresses: 10995 N. Market Street Tax Key: #15- 030-02-023.00 Zoning: IPS/PUD, R-3 District: #6

Request: 1. Rezoning Recommendation

Briefing: The applicant is seeking a rezoning recommendation approval to reduce the overall land area of the PUD by 2 acres for the property located at 10995 N. Market Street.

10. Kohler Credit Union

Address: 11351 - 11363 N. Port Washington Road Tax Key: #15-019-13-020.00 Zoning: B-3 District: # 5

Request: 1. Rezoning Recommendation
 2. Land Use Plan Amendment

Briefing: The applicant is seeking a rezoning recommendation and land use plan amendment approval change from B-3 (Office) to B-2 (Community Commercial) for the property located at 11351 - 11363 N. Port Washington Road

11. Announcements

Development Inquiry

Next Meeting is Monday, March 7, 2016

12. Adjourn

Dated: February 3, 2016

/s/ Dan Abendroth, Chairman

Notice is hereby given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision making responsibility, although they will not take formal action thereto at this meeting.
Any questions regarding this agenda may be directed to the Dept. of Community Development office at 262-236-2904
Monday through Friday, 8:00 a.m. – 4:30 p.m. Persons with disabilities requiring accommodations for attendance at this meeting should contact the City Clerk’s Office at 262-236-2914, twenty-four (24) hours in advance of the meeting.

CITY OF MEQUON WISCONSIN
PLANNING COMMISSION MINUTES
January 11, 2016

Commissioners present: Mayor Dan Abendroth, Ald. Rob Strzelczyk, Becky Schaefer, James Schaefer, Brian Parrish, John Mason, David Fuchs, LeRoy Bessler

Staff members present: Kim Tollefson, Director of Community Development
Jac Zader, Asst. Director of Community Development
James Keegan, Engineering Services Manager

Minutes of the meeting held on Monday, December 7, 2015 at 7:00 p.m. in the Common Council Chambers, Mequon City Hall, 11333 N. Cedarburg Road. [Note: Planning Commission meeting was audiotaped.]

1. a. Call to Order, Roll Call
- b. Approval of the December 7, 2015 Planning Commission meeting minutes.

Action:

Ald. Strzelczyk moved to approve the December 7, 2015 minutes.
Commissioner Mason seconded the motion to approve the minutes.
A voice vote was called. All voted aye, 8-0.

Consent
Public Hearing

2. Fresh Healthy Eatery & Juice Bar

Address: 11319 N. Port Washington Road Tax Key: #15-019-16-025.00 District: #5 Zoning: B-2

Request: 1. Conditional Use Grant

Briefing: The applicant is seeking conditional use grant approval to operate a restaurant, including a juice bar, at the property located at 11319 N. Port Washington Road (Citgo Gas Station).

Action:

Commissioner Fuchs made a motion to go into public hearing.
Ald. Strzelczyk seconded the motion.
A voice vote was called. All voted aye, 8-0.

Action:

Ald. Strzelczyk made a motion to close the public hearing.
Commissioner Parrish seconded the motion.
A voice vote was called. All voted aye, 8-0.

#3 was moved off of the consent agenda.

Consent
Regular Business

4. Veridian Homes

Zoning: R- 3/CGO District: #4 Tax Key: # 14-028-03-006.00

Address: 10729 N. Wauwatosa Road Tax Key: # 14-028-13-007.00

Address: 10701 N. Wauwatosa Road Tax Key: # 14-028-13-008.00

Address: 10839 N. Wauwatosa Road Tax Key: # 14-028-04-012.00

- Request:**
1. Open Space Plan
 2. Street Tree Plan

Briefing: The applicant is seeking open space plan and street tree plan approval for the property located at 10729 - 10839 N. Wauwatosa Road for the proposed Enclave at Mequon Preserve subdivision.

Commissioner Parrish asked about item #2 having a bathroom in close proximity to the food prep area. He also asked about the facade be required there.

Asst. Dir. Zader stated that the health department and inspections department will be reviewing and approving this so that they would catch any issues. He stated that several years ago mechanicals were put in place and they were never screened.

Commissioner Fuchs asked if there would be tables for a sit down type restaurant and if there is adequate parking.

Asst. Dir. Zader stated that there are two small tables shown. Due to the small operation of the business there is not a concern regarding the parking available.

5. Highlander Estates, LLC

Address: lands immediately south of Brighton Ridge and Knightsbridge subdivision between Swan and Wauwatosa Roads.

Tax Key: #14-028-07-001.00 & #14-028-03-005.00 & #14-028-04-007.00 District: #4 Zoning:R-3/CGO/R-4

- Request:**
1. Development Agreement – Phase II (Addition #1)
 2. Fill Permit in excess of 1,000 cubic yards

Briefing: The applicant is seeking development agreement and fill permit, for 17,000 cubic yards, approval to allow for Phase II (Addition #1) consisting of 30 lots of the 111 lot single family subdivision located immediately south of Brighton Ridge and Knightsbridge subdivision between Swan and Wauwatosa Roads.

Action:

Commissioner Bessler made a motion to approve the consent items #2, #4 & #5.

Ald. Strzelczyk seconded the motion.

A voice vote was called. All voted aye, 8-0.

3. Ryan Companies

Address: Northeast corner of Port Washington Road and Venture Court

District: #2

Zoning: B-2

Tax Keys: #15-053-04-01-000 & #15-020-10-017.00

Request: 1. Fill Permit in excess of 1,000 cubic yards

Briefing: The applicant is seeking a fill permit, for 8,000 cubic yards, approval for the construction of a three-story, 86,000 square foot medical office building located at the northeast corner of Port Washington Road and Venture Court

Engineering Manager, James Keegan, stated the applicant is requesting approval for 8,800 cubic yards of fill for the property. The engineering department has reviewed the application and does recommend approval. There are several recommendations in the staff report which are all agreeable to the applicant except #7 which prohibits hauling on Venture Court. Staff feels that this is important because Venture Court is not built to the structural standards that Port Washington Road is built. The additional truck traffic causes concerns for the road. The neighbor that shares the road has expressed concern about the construction traffic as well. The applicant is contesting this issue.

The applicant, Mr. Ryan Marks, representing Ryan Companies, stated that if the trucks are forced to exit onto Port Washington Road they have to head north. They will need to get back to the freeway, so they will need to make a U-turn on Port Washington Road or drive through residential neighborhoods. He does not think this is a desirable idea for the City. Venture Court is a signaled intersection and that provides consistency and safety for the trucks leaving the site.

Mayor Abendroth stated that Venture Court was previously used for fuel trucks to turn around and that it should be strong enough to handle the dump trucks.

Mr. Keegan stated that it was indeed reconstructed. If it is permitted for the trucks to use Venture Court, the City would require a road bond for any damage caused. An analysis of the condition of the road would be done before it is used.

Commissioner Bessler asked why so much fill is requested. He stated that sometimes fill is used to divert water onto adjacent properties by building the property higher than other properties.

Mr. Keegan stated that regarding the drainage issue, there has been a storm water management plan that accounts for the drainage that has been approved by the City, it has not yet been approved by MSSD. He stated that the City feels that the neighbors will not be adversely affected by the drainage. The fill brought to the site is for the base aggregate, the parking lot, sanitary and sewer trenches; it is an engineer fill which is a stone material, it is not just a dirt fill.

Ald. Strzelczyk stated that the neighbor has voiced concern about the drainage onto his property during this process and he asked the applicant to take a little extra care during the construction and fill process to avoid any spill over to the properties to the east or north. He stated that the road to the property to the north does get a little soggy, so he recommended that when putting in the silk fences that the applicant ensures that the water can also get off that property.

Mr. Marks stated that they have had several conversations with the Mikkelsons (neighbor to the north) and they have designed some features that they think will help quite a bit. He said they have signed some access agreements together and they have a very good working relationship.

Ald. Strzelczyk asked the applicant that if the request is slightly amended to allow the trucks to enter from Port Washington Road and exit from Venture Court, if that would be agreeable to them.

Mr. Marks confirmed that would be acceptable to them.

Action:

Ald. Strzelczyk made a motion to allow construction fill traffic to exit only on Venture Court and use the clearly marked entrance on Port Washington Road to enter the site. He added a friendly amendment to include a road bond requested by staff.

Commissioner Bessler accepted the amendment and seconded the motion.

A voice vote was called. All voted aye, 8-0.

Public Hearing

6. Oldenburg Farm

Address: 11446 N. Farmdale Road Tax Key: #14-020-01-004.00 District: #3 Zoning: R-1/OA, C-1/FW/OA

Request: 1. Conditional Use Grant

Briefing: The applicant is seeking conditional use grant approval to allow for a commercial horse stable at the property located at 11446 N. Farmdale Road.

The applicant showed a video of the property.

The applicant, John Graham talked about the structure of the barn. They are very proud of the appearance of the project and he stated it is a state of the art building.

The stable has 19 stalls with a large indoor riding arena and two outdoor areas.

Asst. Dir. Zader stated that the conditional use grant is for a commercial horse stable. It has been a private horse facility for a number of years. The facility currently includes a 24,000 sq. ft. stable and arena, a storage building, an outdoor practice area and some paddocks. The proposed use will include boarding, training and riding events throughout the year. The proposed hours of operation are from 8:00 am to 9:00 pm during the week and 8:00 am – 6:00 pm on the weekends. In accordance with the zoning code the applicant would be allowed up to 19 horses on the 20 acre piece. The removal of waste is always an issue and the applicant agreed that the removal of waste will be collected on a weekly basis. There is an existing dumpster area located adjacent to the storage building that is well screened from public view. The closest residential property is 520 feet to the south. The rest of the land is being proposed as a conservation subdivision.

There was a concern from a neighbor regarding the traffic on Farmdale Road. There are about 900 daily trips which is fairly low for that type of road. In comparison, both Freistadt and Highland Roads have double the traffic. The city engineering department is not concerned about the additional traffic created by the proposed use.

In addition to the boarders there will be small clinics and events with up to 30 spectators at these events. There is adjacent parking on both sides of the building that should be enough to accommodate the spectators that come to the events.

Staff is supportive of the project. A number of conditions have been added that are typical of outdoor facilities;

- Maximum of 19 horses
- Limits on the spectators
- No more than 5 trailers on site at one time

Action:

Commissioner Parrish made a motion to close the public hearing.

Commissioner Becky Schaefer seconded the motion.

A voice vote was called. All voted aye, 8-0.

Action:

Commissioner Fuchs made a motion to close the public hearing.

Ald. Strzelczyk seconded the motion.

A voice vote was called. All voted aye, 8-0.

Commissioner Becky Schaefer asked the applicants to introduce themselves.

John Graham introduced himself as the developer of the project and Karen McClay, along with her daughter Kristen (not present), will be the owner/operator of the training facility.

Commissioner Becky Schaefer clarified that the two Oldenburg Farm agenda items (#6 and #7) are separate. She stated that it is a gorgeous property and that she has loved this property before she even lived in Mequon. She strongly encourages the continued rural character and rural use. She is supportive and will vote to approve this item.

Ald. Strzelczyk stated that the packet information stated that the applicant had indicated the desire to have 20 horses with the intention to grow this business. Based on the zoning and acreage, there is a maximum of 19 horses allowed.

Mrs. McClay stated that they had initially hoped to grow but based on the land analysis they are accepting of the limit of 19 horses.

Ald. Strzelczyk stated that he likes the fact that the waste is being removed weekly given the fact that the wetlands are so close. He appreciates that being done. He commented that it is a beautiful property and he is pleased that it will be used for rural purposes.

Commissioner Mason asked Asst. Dir. Zader if there have been any issues from other approved horse stables in the community regarding the number of participants, the number of trailers or the odor in the past 6 to 9 months.

Asst. Dir. Zader stated there have been a few complaints, as somewhat anticipated, from the O'Connell Lane horse barn regarding traffic in and out. Staff is unable to verify any violation to their conditional use grant. No other complaints.

Action:

Commissioner Fuchs made a motion to approve the item

Ald. Strzelczyk seconded the motion.

A voice vote was called. All voted aye, 8-0.

Regular Business

7. Oldenburg Farm

Address: 11446 N. Farmdale Road	District: #3	Zoning: R-1/OA, C-1/FW/OA
Tax Key: #14-020-01-004.00	#14-020-04-002.00	#14-020-12-000.00 #14-021-07-004.00
#14-021-07-002.00	#14-021-07-001.00	#14-021-07-003.00

- Request:**
1. Rezoning Recommendation
 2. Concept Plan

Briefing: The applicant is seeking rezoning recommendation and concept plan approval to allow for a 20 lot conservation subdivision located at 11446 N. Farmdale Road. The development includes two separate sections of land. There is a 185 acre section of land on the east side of Farmdale Road and a 37 acre piece of land on the northwest corner of Mequon Road.

Asst. Dir. Zader stated that the applicant is requesting approval for rezoning and concept plan for a 20 lot conservation subdivision on 221 acres of land. The conservation plan proposes approximately 71.7 % of open space and lots ranging from 1.25 to 3 acres in size. There are two separate portions of land. The 20 acres of land for the horse stable has been removed from the overall land area and is not being counted. The yield plan shows the 5-acre residential lot size based on currently zoning requirements. The overall density remains the same. The parcel to the east shows a significant wetland and wooded area (the little Menomonee River runs through here). It is a very wet area in the spring and summer.

Although this area is in the floodplain, it was not shown on the 2007 FEMA maps due to modeling errors at the time they were adopted. Wetland delineation needs to be done; this will have to be in the spring once the snow and frost are gone. The preliminary plat will not be approved until the wetland delineation is done.

The typical open space percentage for a conservation subdivision is 60% and the applicant is exceeding the number by showing 71% open space. They have discussed with staff the idea of dedicating open land to the city. There is land owned by MMSD in the southeast corner of the property. The Little Menomonee Park which the city owns is on the north section of the property. The city would like to have a walking trail that would connect these two areas.

The plan includes many characteristics of the conservation subdivision design: open space along the perimeter, pedestrian trails and pockets of open space.

There are a few minor recommendations from staff:

1. Shift Lots 9 - 12 a little bit further south to allow for a larger buffer on the north property line.
2. Add a trail connection between Lots 12 and 13 that connects to the public road.

Engineering also has some recommendations regarding the cul du sac on the north end. Eventually this may tie into Freistadt Road, staff is requiring a road reservation and dedicated right of way to the property line. Staff wants the right of way cut line to reach all the way to the property line to the north, so if there is further development to the west, it could access the same road way. The applicant did not have any objections to these two requests from staff.

The lots on the conservation piece average about 1.33 acres in size. The lots along Mequon Road and Farmdale Road are roughly 2.75 acres in size. They are shifted a little to the north to maintain a buffer from Mequon Road. The City Forester indicated there are specimen trees on the property but they are mostly located in the wetlands and should not be impacted by any of the development on either of the two pieces.

Staff recommends approval according to the conditions in the report.

The applicant, John Graham introduced Dennis Bush as a consultant to him on this project. Mr. Graham stated that the entire project was designed around the guidelines established by Mequon zoning. They have been very careful to minimize the impacts and they intend to take advantage of the topography. He stated that all the housing will be well-above the floodplain levels. They have tried to also minimize visual impacts. There will be trails that run through the development to accommodate the residents. They have talked about dedicating approximately 45-65 acres of land that will be used to connect the park to the north and the MMSD property to the south.

Mr. Bush stated that he has worked on many of the conservation neighborhoods in Mequon and he has a good sense of the areas that have had the less amount of impact on the surrounding properties.

Jean Richmond – 11540 N. Farmdale Road – is opposed. She is worried about the small lots and dogs barking in the neighborhood.

Dale Schoessow – 11702 N. Farmdale Road – is opposed. He met with Dennis Bush, but he feels that they did not come to any understanding. He wrote a letter to the PC and has many points listed in it. He feels that any pedestrian paths will be in swampland. He is mostly opposed to the 5 acre minimums and that the lots are shifted to the west. He thinks the houses to the south will be flooded. He says the south end is often under water and houses proposed on the north end will be flooded as well.

Joe Di Frances – 11540 N. Farmdale Road – is opposed. He would like the native plants restored and the natural insect life and songbirds to be there. He feels that green space is a hostile environment and that it wipes out the wildlife there. He would like more information about exactly what the open space will consist of.

Mr. Bush stated that they are going to try to maintain the current uses there (some farming, horse riding, horse stables). Some of them might become more of a field affect. He said that nothing too significant will changed and 200 acres will be unencumbered.

Asst. Dir. Zader stated that a stewardship plan is required for the open space areas. The applicant will provide how the open spaces will be used and how they will be maintained and this will get passed along to the homeowners association once it is established.

Irene Meyer – 11234 N. Farmdale Road – is opposed. She is concerned about where the water is going to come from and where the sewer system will go to. She is worried that released water from the homes will add to the wet areas already there. She stated that her property does not perk.

Mr. Graham stated that there will be individual wells and septic systems. They have not yet done perk tests.

Kurt Schoessow – 10016 W. Freistadt Road – is opposed. He wonders why the out lots that can be used for horses are not being used with the stable to allow for more horses. He thinks the homes are adding to the wetlands. He does not feel that the pedestrian paths and horses are going to mix.

Mayor Abendroth confirmed that this project must go through the same requirements for run off as all projects in the city. He confirmed that the run off cannot increase from the current undeveloped state.

James Keegan, Deputy Director of Engineering, stated that a requirement is that the storm water management plan be reviewed and approved by both the city and MMSD. The report has not yet been received by staff.

Deanna Lee – 1211 N. Briarhill Road – is opposed. She prefers that there not be property division. If there is division she prefers the 5 acre minimum be imposed.

Rudy & Bodil Lange – 11246 N. Farmdale Road – are opposed. They did not wish to speak.

Hermie Stern – 10505 W. Freistadt Road – is opposed. He did not wish to speak.

Gina Suckow – 11702 N. Farmdale Road – is opposed. She did not wish to speak.

Pam Helmig - 11219 N. Farmdale Road – is opposed. She did not wish to speak.

Gerhard Schoessow – 11915 N. Farmdale Road – is opposed because he feels the housing will ruin the rural feel and this area is some of the last remaining rural property in Mequon and he would like to see it preserved as it is. He wants to see the land used for horses and growing grass. He does not feel another subdivision is needed on Farmdale Road.

Tom Zabjeck – 11845 Sand Hill Circle – is in favor of this project. He feels it meets all the criteria of a conservative subdivision and Mequon needs more buildable lots. He stated that this project will bring \$15M to the tax base and a new sewer system to that area. He does have empathy for the neighbors but feels that this is a worthwhile project.

Patty Ayer – 9913 W. Heather Drive – is opposed and does not want to see building on this property. She really likes the open green space and wishes it would remain this way.

Mayor Abendroth stated that PC will make a recommendation tonight and then this will go to the Common Council for a public hearing in February and a second reading of the ordinance and a decision will be made by the Common Council in February.

He stated that the owner of this property has the right to develop 5 acre lots. He emphasizes with the neighbors. He has seen this happen over the last 30 years in Mequon. Undeveloped land gets developed and neighbors are usually not happy about it. The owner has the right to do this as long as they meet the rules and regulations. The PC is not able to say no to someone to build a 5 acre lot subdivision. The city has encouraged conservation subdivisions for the past 58 years. This is not a new concept; almost all the subdivisions built have some element of conservation design. Conservation subdivisions have some benefits to the whole neighborhood.

Commissioner Parrish asked about the different zoning on the property (R-1, OA overlay).

Asst. Dir. Zader stated that that the R-1 and OA occurs on any property over 10 acres in size. R-1 gives the ability to do the 5 acre lots and the OA allows farming as well. The floodway zoning limits development in that area. The lots shown on the concept plan are required as part of the yield plan to be out of the floodway. The rest of the parcel can be in the floodway. The conservation design is meant for properties like this where lots abut natural features. The concept plan does try to keep the lots outside the environmental area as much as possible.

Commissioner Fuchs asked about the expected price of the homes on these lots. His feeling is that these lots are desirable. What is being proposed is in the zoning and the city ordinance. He thinks this is an attractive project with reasonable size lots and homes. He would like to see more of this type of home and less of the smaller lots and smaller homes.

Mr. Bush answered that the minimum square footage at 2,400.

Commissioner Jim Schaefer stated that given the fact the land owner has the right to build and to divide the property into 5 acre lots, he much prefers the conservation subdivision design. He feels that it will preserve the rural character and he prefers the green space that is going to be left natural.

Commissioner Mason asked for more explanation about the blue and red lines on the floodplain diagram. He asked if every lot needed to do a perk test or just a few in the general area. He asked about the water table situation for the wells. He also asked about why the rezoning is necessary.

Asst. Dir. Zader stated that the blue line is the 100 year floodplain line which is zone AE. The red line is a floodway line. Both lines are modeled lines that are part of the study that is underway. The floodway line shows the typical path that the water will flow and the 100 year line will continue to carry water but it won't necessarily be flowing in that area. That line is totally based on elevation. The floodway is an area that you cannot do anything in; nothing to impede the flow of water. The 100 year floodplain can be developed in as long as the flood elevation level is not raised by 1/100 of a foot. These areas can be filled in and developed on, as long as the requirements of the DNR and FEMA are met.

Asst. Dir. Zader answered that there are multiple perk tests per lot. Every lot is required to have a self-sufficient perk test. There have been a few situations for an out lot of the subdivision to be used, although this is very rare. He answered that the DNR handles all the wells, the city is not involved.

Regarding the requirement for rezoning, the conservation subdivision process is required to be a PUD. This was established as a policy by the CC many years ago.

Commissioner Parrish asked about the connector road. He would like to see more of a landscape buffer along Mequon Road. He likes that this will prevent commercial use from creeping to this location. He would like to see conservation natural landscaping. He would have liked to have had the wetland delineation report already done.

Asst. Dir. Zader explained there at the north end of the subdivision there is a cul du sac. There would be a stub on the north end which would then be available for connection if that property to the north is developed in the future. It would then connect to Freistadt Road and enable a secondary road connection to the property. For public safety reasons, the city prefers two exits.

Ald. Strzelczyk asked about the density of the development. Many residents have expressed concerns about the number of lots. He stated that he prefers the conservation subdivision design plan and the surrounding residents have a stronger buffer. There is much more green space and the rural character is maintained. Regarding the drainage issues, he encourages the applicant to do anything that can be done to mitigate the impact to the neighbors. He would like the applicant to be responsive to the neighbors concerns.

Asst. Dir. Zader answered that at 185 acres and 20 lots proposed; it is about 8 – 9 acres per unit. There are a lot of floodway and wetlands that cannot be developed on, but this far exceeds 1 lot per 5 acres.

Commissioner Becky Schaefer asked about the level of homes expected. She is strongly opposed to this project. She wants to maintain the rural character of this area. She wishes it would not be developed. She said there are many lots in Mequon available. She would like to table this until the wetland delineation report is reviewed. She would like to be able to vote against this project; although that is not an option

Mr. Bush stated that with the 2,400 sq. ft. minimum, it is a great platform for larger homes.

Asst. Dir. Zader stated that the approval for the concept plan and rezone encourages the applicant to go forward and spend money to continue in the process. He has spoken to many neighbors with similar concerns about the wetland report. They will need to have some more issues ironed out before preliminary plat is approved. This is a concept plan only. It protects future approvals. The floodplain line may change but it won't change very much. The wetland set back is about 50-75 feet. It is all within the wooded area, there is nothing outside the wooded area. He stated that over the years the conservation subdivisions have been well received in the market.

Commissioner Bessler asked if the string of houses is between two wetlands.

Asst. Dir. Zader stated there are not wetlands to the west; none that are shown at this time. There is a low spot that drains but there are no known wetlands there.

Ald. Strzelczyk stated that the PC would like confirmation that the drainage from the west to the east is not being encumbered by the development of the subdivision. He wants to ensure that the neighbors to the west are not negatively impacted.

Asst. Dir. Zader stated that all issues regarding drainage will be addressed when the reports are done and when engineering reviews the plans.

Mayor Abendroth stated that rural character means something different to everyone and it is subjective. Rural area in the city means 5 acre density; which is the policy that has been set. 5 acre is what the professional engineers stated that urban infrastructure is not needed; no sewer or water connections are needed; can accommodate with septic systems and wells. Politically, at the time, this is the solution that preserved the lowest density.

Commissioner Mason asked if the applicant understands and agrees with all the staff conditions.

Action:

Commissioner Mason made a motion to approve the item per staff recommendations.

Commissioner Fuchs seconded the motion.

A roll vote was called. All voted aye, 7-1 (No: Becky Schaefer)

8. Announcements

Development Inquiry

2016 Planning Commission Meeting Schedule

Next Meeting is Monday, February 8, 2016

10. Adjourn

The meeting adjourned at 8:45 pm

Ald. Strzelczyk moved to adjourn.

Commissioner Mason seconded the motion.

All voted aye. Vote passed 8-0

STAFF REPORT

To: Mequon Planning Commission

Prepared by: Jac Zader

Agenda Item: **2**

Date: February 8, 2016

General Information:

Applicant:

WE Energies

Status of Applicant:

Owner

Requested Action:

Road Reservation Vacation

Existing Zoning:

R – 4

Lot Area:

.48 acres

Location:

7980 W. Donges Bay Rd.

Background: WE Energies is requesting to remove a 30 foot road reservation on the parcel located at 7980 W Donges Bay Road. The .48 acre parcel contains equipment related to the high pressure gas main that runs underneath the property. It appears the original intent of the road reservation was to provide half of the access to the property to the north with the parcel to the east eventually providing the remaining 30 feet. The parcel to the east was part of the PUD for the Whispering Knoll development that was approved in 2014 (see attached map). The development provided access further east on Donges Bay Road which makes the road reservation unnecessary.

Engineering Report:

A road reservation, unlike road right-of-way, indicates the intent for a road to be constructed. Road reservations “reserve” the land for road purposes. It is sometimes used for setback references on the adjacent lots. However, in legal and survey terms, it does not provide the right to construct a public road. In order to construct a public road within a road reservation, the road reservation would need to be dedicated as right-of-way.

The Engineering Department does not typically advocate for the vacation of right of way or the elimination of the ability to obtain right of way. For this parcel and the surrounding land to the north and east, the ability to provide access can be better provided by utilizing the land to the east.

Staff Recommendation:

Planning staff recommends the Planning Commission **approve** the vacation of the 30’ wide public right-of-way reservation subject to the following condition(s):

1. Common Council action on the vacation
2. City Attorney approval of the form of the vacation document and recording with the Ozaukee County Register of Deeds.

Prepared By: _____

Jac,

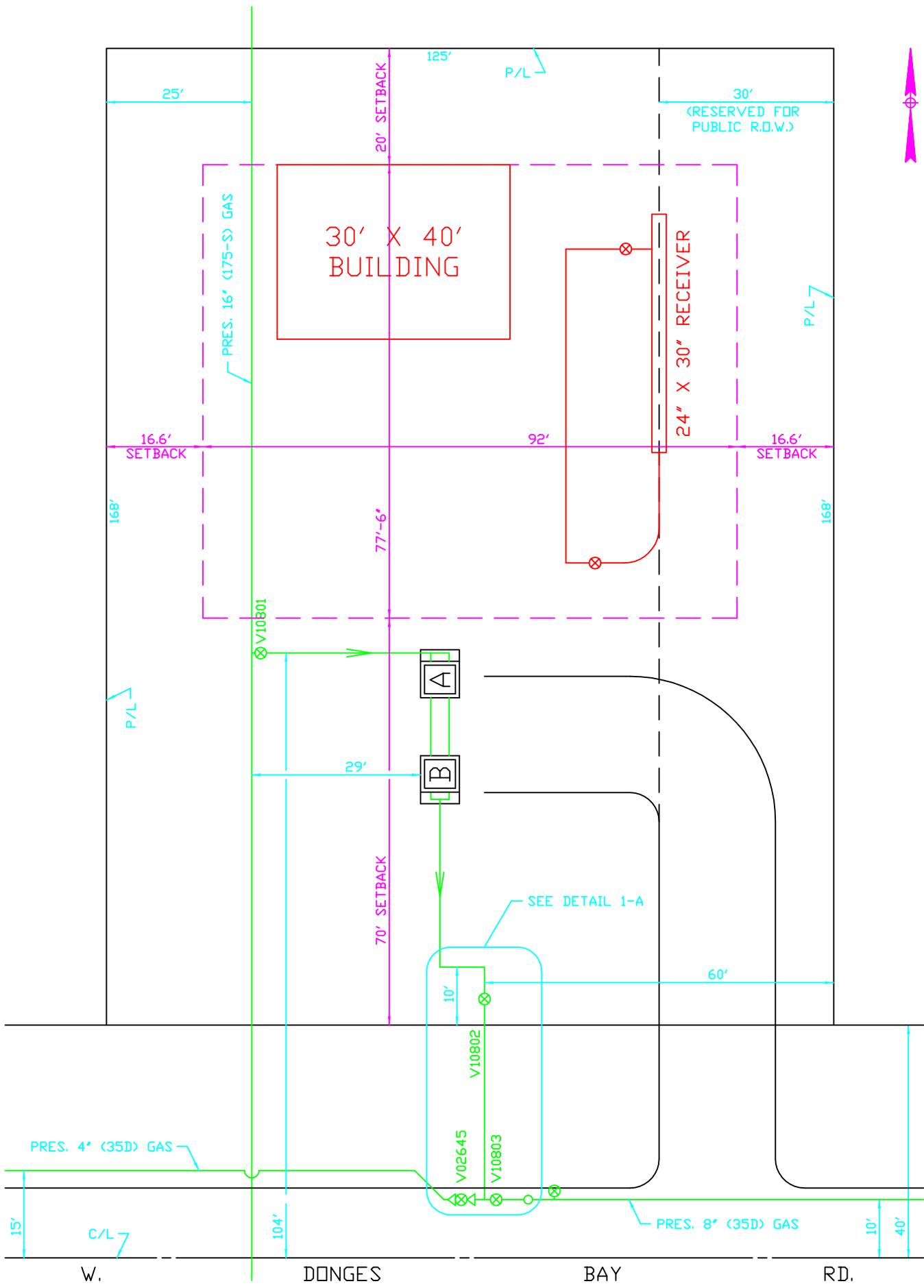
I dropped off the plan commission application on Monday and it's my understanding you requested an email explaining the reason for the request to remove the 30' road reservation. Please see the following.

In order to provide safe and reliable natural gas in the future, Wisconsin Gas LLC (WG) plans to construct gas regulation facilities coinciding with future gas main replacement located north of the current Germantown Mequon main replacement. At the time of the future main replacement, we will construct a building enclosure approximately 30' x 40' to house gas valves, regulators and controls. In addition we will have an outside receiver approximately 24' x 30'. The receiver provides a means to test the integrity of the pipe. WG planned to acquire additional land from Koerndorfer Homes to the north, which would ensure WG would have enough space to construct regulation facilities in the future. The approved development by Koerndorfer Homes caused WG to review placement of its facilities in greater detail. While it's preferable for WG to acquire additional land, Gas Engineering determined we can utilize the existing WG parcel and eliminate the need to acquire additional land if the 30' road reservation is removed. Please see the attached plan of the proposed future structures. The valves for the current main replacement will be constructed underground on the southwest portion of the property. The building setbacks provided by Mequon, 70' from Donges Bay Road right-of-way, 16.6' side yard and 20' rear yard setback along with the 30' road reservation will not allow WG to construct its future facilities. However, with the 30' road reservation removed, we will have enough space to construct the 30'x 40' building and the 24' x 30' receiver and maintain the required distance from the regulator station to the receiver.

The road reservation was inserted at the time the CSM was prepared in 1978. Based on review of the Koerndorfer residential development, the road reservation no longer appears to be a viable. WG is requesting to remove the 30' road reservation from CSM 1094.

Thank you.

Pat Adams
Lead Right of Way Agent - Property Management
We Energies
231 W. Michigan Street, A252
Milwaukee, WI 53203
office: 414-221-2726
cell: 414-322-6980
fax: 414- 221-2713
email: patricia.adams@we-energies.com



EXISTING
SITE PLAN
SCALE 1" = 20'

08/11/78

CERTIFIED SURVEY MAP NO. 1094

BEING A PART OF THE SE 1/4 OF THE SE 1/4 OF SECTION 28, T 9 N, R 21 E, IN THE CITY OF MEQUON, OZAUKEE COUNTY, WISCONSIN.

SURVEYOR'S AFFIDAVIT
STATE OF WISCONSIN)
:SS
MILWAUKEE COUNTY (

I, KENNETH E BERKE, surveyor, do hereby affirm and say that I have surveyed, divided and mapped a part of the S E 1/4 of the S E 1/4 of Section 28, T 9 N, R 21 E, in the City of Mequon, Ozaukee County, Wisconsin, which is bounded and described as follows:

Commencing at the Southeast corner of said 1/4 Section; thence South 89° 34' 24" West along the South line of said 1/4 Section 1202.13 ft. to the point of beginning of the land to be described; thence continuing South 89° 34' 24" West along the South line of said 1/4 Section 125.00 ft. to a point, said point being the Southwest corner of the S E 1/4 of said 1/4 Section; thence North 00° 02' 21" West along the West line of the S E 1/4 of said 1/4 Section 208.00 ft. to a point; thence North 89° 34' 24" East and parallel to the South line of said 1/4 Section 125.00 ft. to a point; thence South 00° 02' 21" East 208.00 ft. to the point of beginning. Excepting therefrom those parts dedicated for street purposes.

THAT I have made such survey, land division and map by the direction of GERTRUDE VOLAND.

THAT I have fully complied with the provisions of Chapter 236 of the Statutes of the State of Wisconsin and the land division ordinances of the City of Mequon, in surveying, dividing and mapping the same under Ordinance No. 59-56.

9/29/78
Date

Kenneth E Berke
Kenneth E Berke, Surveyor S 107

STATE OF WISCONSIN)
:SS
MILWAUKEE COUNTY (

Subscribed and sworn to before me this 29 day of September

Irene M Metzger
Irene M Metzger, Notary Public
State of Wisconsin
My Commission Expires August 13, 1978



OWNER'S CERTIFICATE

AS OWNERS, we hereby certify that we caused the land described above to be surveyed divided, mapped as represented on this map in accordance with the provisions of Ordinance No. 59-56 of the City of Mequon, Wisconsin.

WITNESS our hands and seals this 29 day of October, 1978.



CERTIFIED SURVEY MAP NO. 1094

BEING A PART OF THE SE 1/4 OF THE SE 1/4 OF SECTION 28, T 9 N, R 21 E, IN THE CITY OF MEDON, OZAUKEE COUNTY, WISCONSIN.

In The Presence of:

[Signature]

Gertrude Voland
Gertrude Voland

[Signature]

STATE OF WISCONSIN)
:SS
OZAUKEE COUNTY (

PERSONALLY came before me this 2 day of October, 1978 the above named GERTRUDE VOLAND, to me known to be the person who executed the foregoing instrument and acknowledged the same.

[Signature]
Notary Public, State of Wisconsin
My Commission Expires 12-23-79
~~My Commission is Permanent.~~

RECORDED

OCT 13 2 47 PM '78

[Signature]
REGISTER OF DEEDS
OZAUKEE COUNTY, WISCONS.



THIS INSTRUMENT WAS DRAFTED BY
KENNETH E. BERKE

305925

VOL 425 PAGE 752

DEED RESTRICTION
Permitted Use of Property

AGREEMENT of restrictions between the City of Mequon, hereinafter referred to as "City" and Gertrude Voland, hereinafter referred to as "Owner".

WHEREAS, Owner owns the parcel of land described in Exhibit A; and

WHEREAS, Owner wishes to divide this parcel from a larger parcel and sell it to the Wisconsin Gas Company; and

WHEREAS, the Wisconsin Gas Co. wishes to use the parcel for utility purposes (a use by right under City's zoning code); and

WHEREAS, the parcel described in Exhibit A is less than the minimum acreage required by City's zoning code; and

WHEREAS, City Board of Zoning Appeals, in a decision rendered the evening of September 27, 1978, unanimously agreed to grant a lot area variance for the parcel of land described in Exhibit A provided that the use of said parcel would be restricted to utility purposes only:

NOW THEREFORE, it is agreed between the parties that the parcel of land described in Exhibit A is restricted in its use to utility purposes only.

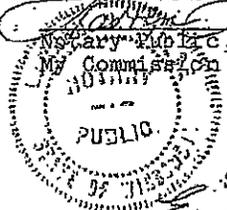
This agreement shall be binding upon the heirs, successors, and executors and assigns of the parties here.

Dated this 9th day of Oct., 1978 at Mequon, Wisconsin

Gertrude Voland
Gertrude Voland, Owner

Suscribed and sworn to before me this 9th day of Oct., 1978.

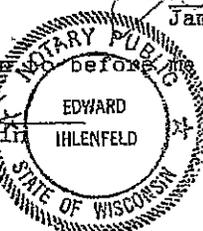
Edward Ihlenfeld
Notary Public, State of Wisconsin
My Commission Expires 3/31/1982



James R. Hanley
James R. Hanley, Mayor

Suscribed and sworn to before me this 9th day of Oct., 1978.

Edward Ihlenfeld
Notary Public, State of Wisconsin
My Commission Expires 3-31-79



Approved as to form:

John A. Meyer
John A. Meyer City Attorney

EXHIBIT A

Legal Description

part of the S E 1/4 of the S E 1/4 of Section 28, T 9 N, R 21 E,
in the City of Mequon, Ozaukee County, Wisconsin, which is bounded and described as
follows:

Commencing at the Southeast corner of said 1/4 Section; thence
South 89° 34' 24" West along the South line of said 1/4 Section 1202.13 ft. to the
point of beginning of the land to be described; thence continuing South 89° 34' 24" West
along the South line of said 1/4 Section 125.00 ft. to a point, said point being the
Southwest corner of the S E 1/4 of said 1/4 Section; thence North 00° 02' 21" West
along the West line of the S E 1/4 of said 1/4 Section 208.00 ft. to a point; thence
North 89° 34' 24" East and parallel to the South line of said 1/4 Section 125.00 ft. to
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Excepting therefrom those parts dedicated for street purposes.

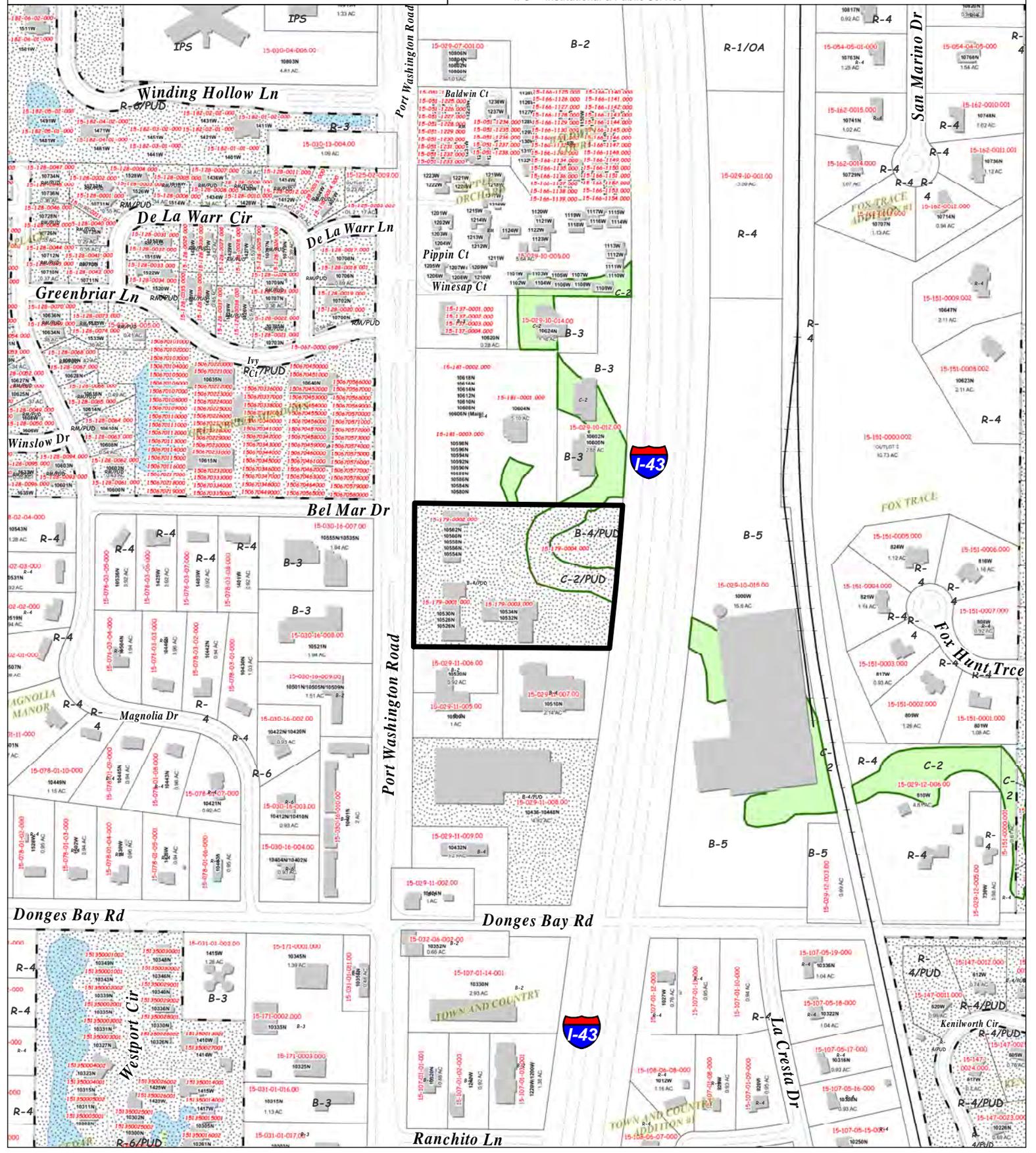
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Oct 13 2 59 PM '78

Ante...
REGISTER OF DEEDS
OZAUKEE COUNTY, WISC.

ITEM #3 - Fiddleheads Coffee

AC	Arrival Corridor	LTD	Limited Use
A-1	Agricultural Preserve	OA	Agricultural Overlay
A-2	General Agricultural	PUD	Planned Unit Development Overlay
B-1	Neighborhood Business	P-1	Park & Recreation
B-2	Community Business	R-1	Single-Family Residential (5 Ac. Min.)
B-3	Office & Service Business	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-4	Business Park	R-2	Single-Family Residential (2.0 Ac. Min.)
B-5	Light Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-6	Rural Industrial	R-3	Single-Family Residential (1.0 Ac. Min.)
B-7	Rural Business	R-3B	Single-Family Residential (3/4 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
C-2	General Conservancy	R-6	Single-Family Residential (4 du/Ac)
CGO	Central Growth Overlay	RM	Multi-Family Residential
FFO	Flood Fringe Overlay	TC	Town Center
FW	Floodway	TDR	Transfer of Development Rights
IPS	Institutional & Public Service		



ITEM #3 - Fiddleheads Coffee



STAFF REPORT

To: Mequon Planning Commission

Prepared by: Jac Zader

Agenda Item: 3

Date: February 8, 2016

General Information:

Applicant:

Concord Development
Andrew Petzold

Status of Applicant:

Owner

Requested Action:

Master Sign Plan Amendment

Proposed Use:

Office

Existing Use:

Office

Existing Zoning:

B - 4 (Business Park)
PUD (Planned Unit Development)
C - 2 (General Conservancy)

Lot Area:

6.8 acres

Location:

10532 N. Port Washington Rd.

Background: The applicant is requesting master sign plan amendment approval at 10532 N. Port Washington Road. The property is zoned B-4 (Business Park) with a Planned Unit Development (PUD) Overlay. The Planning Commission approved a Master Sign Plan on May 16, 2007, which was amended on March 9, 2009 and November 7, 2012.

Sign Plan:

The proposed master sign plan amendment relates to modifications to the awnings at Fiddleheads. The applicant is proposing to replace the existing awnings with a new color and add text to the awnings over the north and east entrances. The signage is approximately eight square feet in area which exceeds the four square maximum requirement for awning signs. The applicant states the larger text is being proposed on the north elevation in order to make the sign legible from Port Washington Road. The sign on the east façade is show to be the same size to be consistent. Staff feels the awning signs are attractive and the scale of the text is appropriate for the size of the awning.

Staff Recommendation:

Planning staff recommends **approval** of the master sign plan amendment based on the following condition(s):

1. No other awning signage shall be permitted.
2. Sign waivers approved uphold the purpose of the sign code as stated in 62-2 of the sign code.

Prepared By: _____

PROPOSAL FOR NEW AWNINGS AT FIDDLEHEADS COFFEE

Fiddleheads Coffee would like to propose recovering the awnings at 10530 N Port Washington Road.

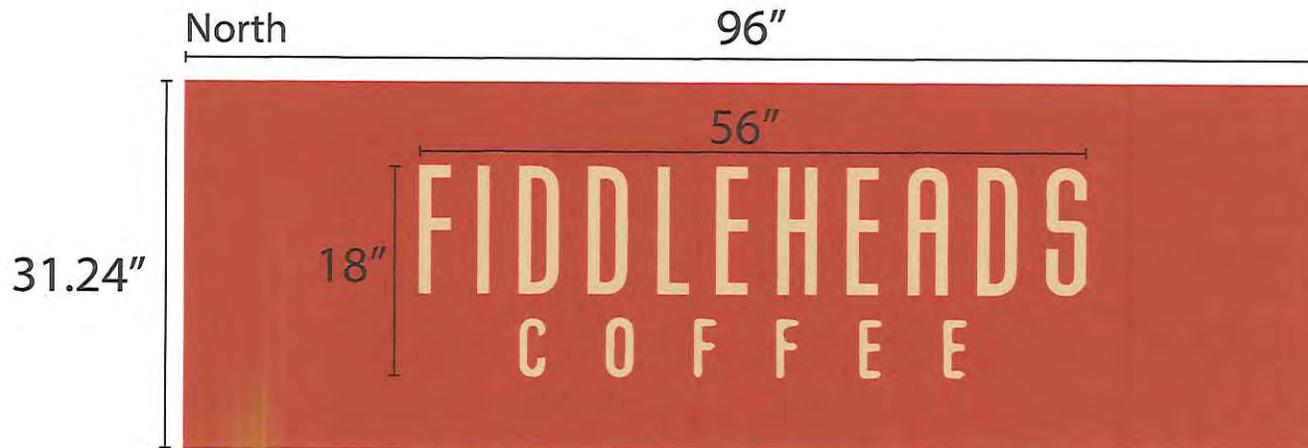
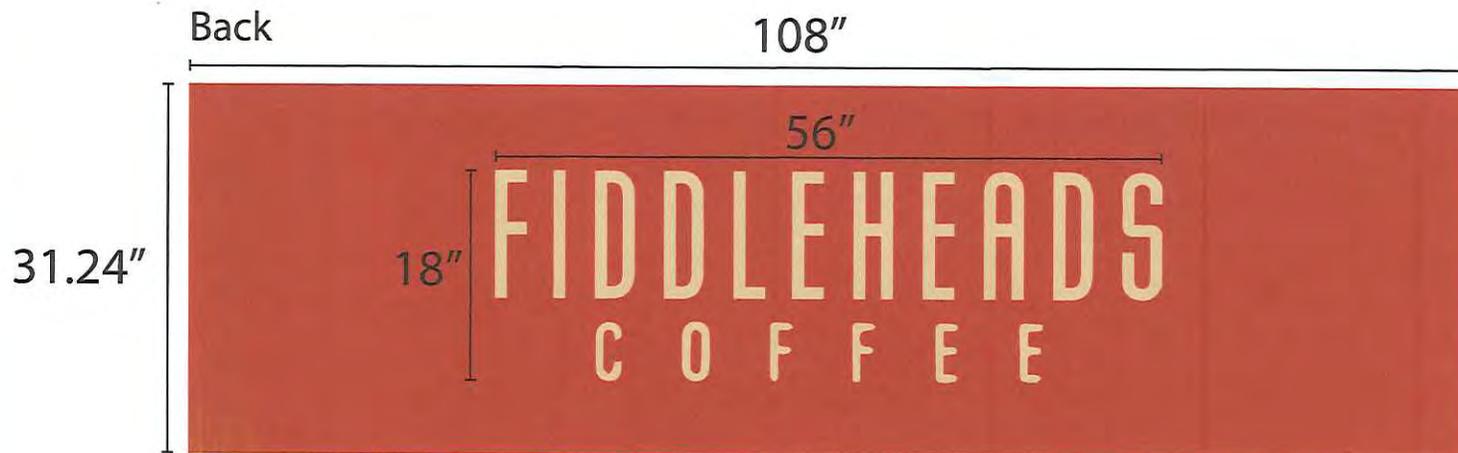
The (13) frames of the existing awnings would remain as is; new awning covers would be made from Sunbrella Terracotta fabric (sample attached).

The Fiddleheads logo is being proposed as graphics over the North and East doors. The intent is for the text on the awning on the North side of the building to be viewable by Southbound traffic on Port Washington Road, and we are proposing the same size text for the East (read) awning to remain consistent.

The proposed design has been reviewed and approved by Andrew Petzold of Concord Development.



EXISTING
EAST FACADE



**Baraboo
Awning**

1111 Walnut Street PO Box 57
Baraboo, WI 53913
PH 608-356-8303 Fax 608-356-0140
info@BarabooAwning.com
www.BarabooAwning.com

Fiddleheads

CLIENT

Mequon, WI

LOCATION

JP

PROJECT MANAGER

MRW

DESIGNER

1

DRAWING

REVISION NUMBER

1-7-16

REVISION DATE

CUSTOMER APPROVAL

1-5-16

DATE

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SIZES, DIMENSIONS, AND COLORS ARE
ILLUSTRATED FOR CLIENTS CONCEPTION
OF THE PROJECT AND ARE NOT TO BE
UNDERSTOOD AS BEING EXACT SIZE OR
EXACT SCALE.

PROPOSED
AWNINGS WITH GRAPHICS



Baraboo Awning

1111 Walnut Street PO Box 57
Baraboo, WI 53913
PH 608-356-8303 Fax 608-356-0140
info@BarabooAwning.com
www.BarabooAwning.com

Fiddleheads

CLIENT

Mequon, WI

LOCATION

JP

PROJECT MANAGER

MRW

DESIGNER

1

DRAWING

REVISION NUMBER

REVISION DATE

CUSTOMER APPROVAL

1-5-16

DATE

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PROPOSED
NORTH FACADE



EXISTING
WEST AND NORTH FACADES



Baraboo Awning

1111 Walnut Street PO Box 57
Baraboo, WI 53913
PH 608-356-8303 Fax 608-356-0140
info@BarabooAwning.com
www.BarabooAwning.com

Fiddleheads

CLIENT

Mequon, WI

LOCATION

JP

PROJECT MANAGER

MRW

DESIGNER

1

DRAWING

REVISION NUMBER

REVISION DATE

CUSTOMER APPROVAL

1-5-16

DATE

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EXACT SCALE.

84

PROPOSED
EAST FACADE



Baraboo Awning

1111 Walnut Street PO Box 57
Baraboo, WI 53913
PH 608-356-8303 Fax 608-356-0140
info@BarabooAwning.com
www.BarabooAwning.com

Fiddleheads

CLIENT

Mequon, WI

LOCATION

JP

PROJECT MANAGER

MRW

DESIGNER

1

DRAWING

REVISION NUMBER

REVISION DATE

CUSTOMER APPROVAL

1-5-16

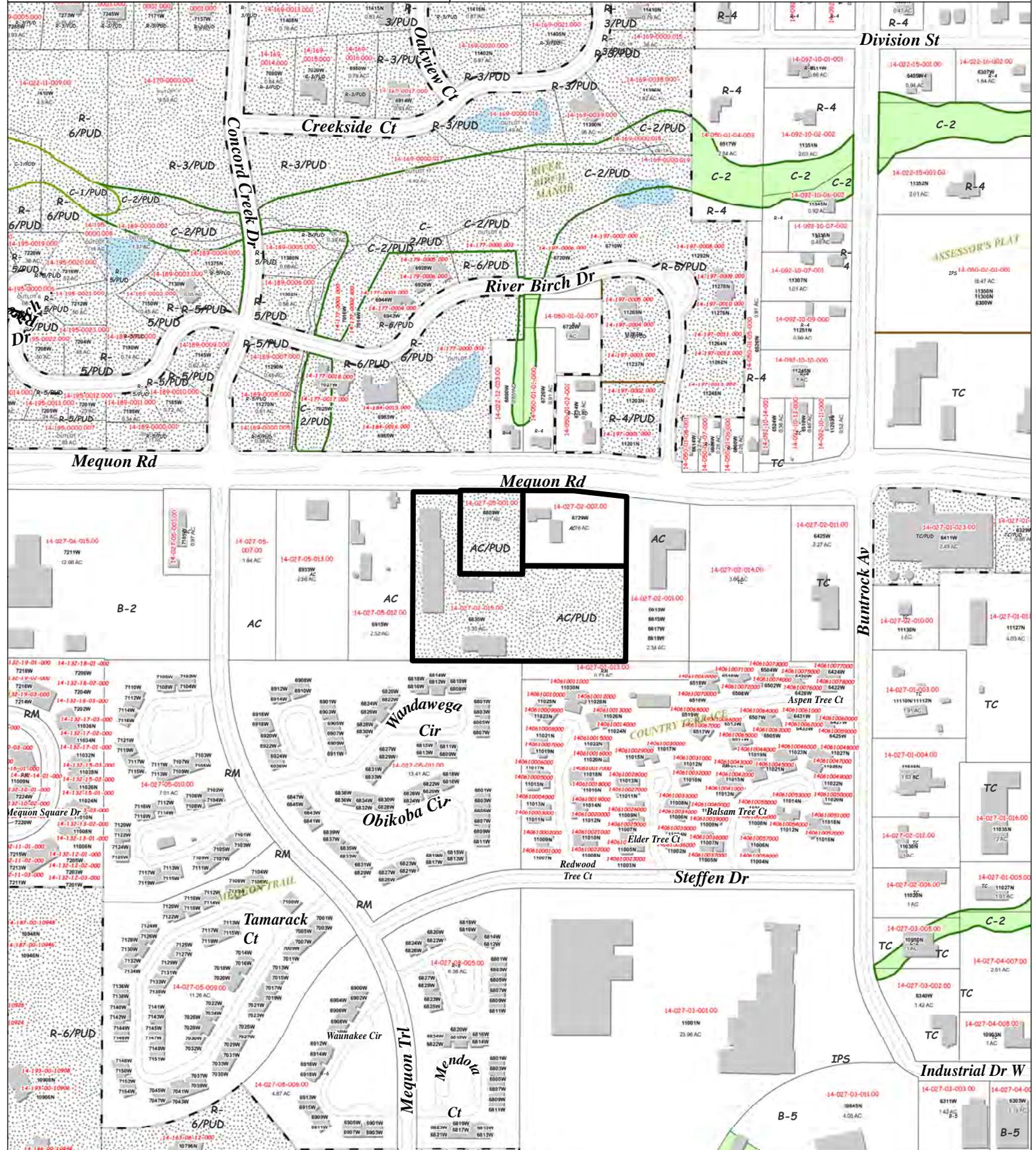
DATE

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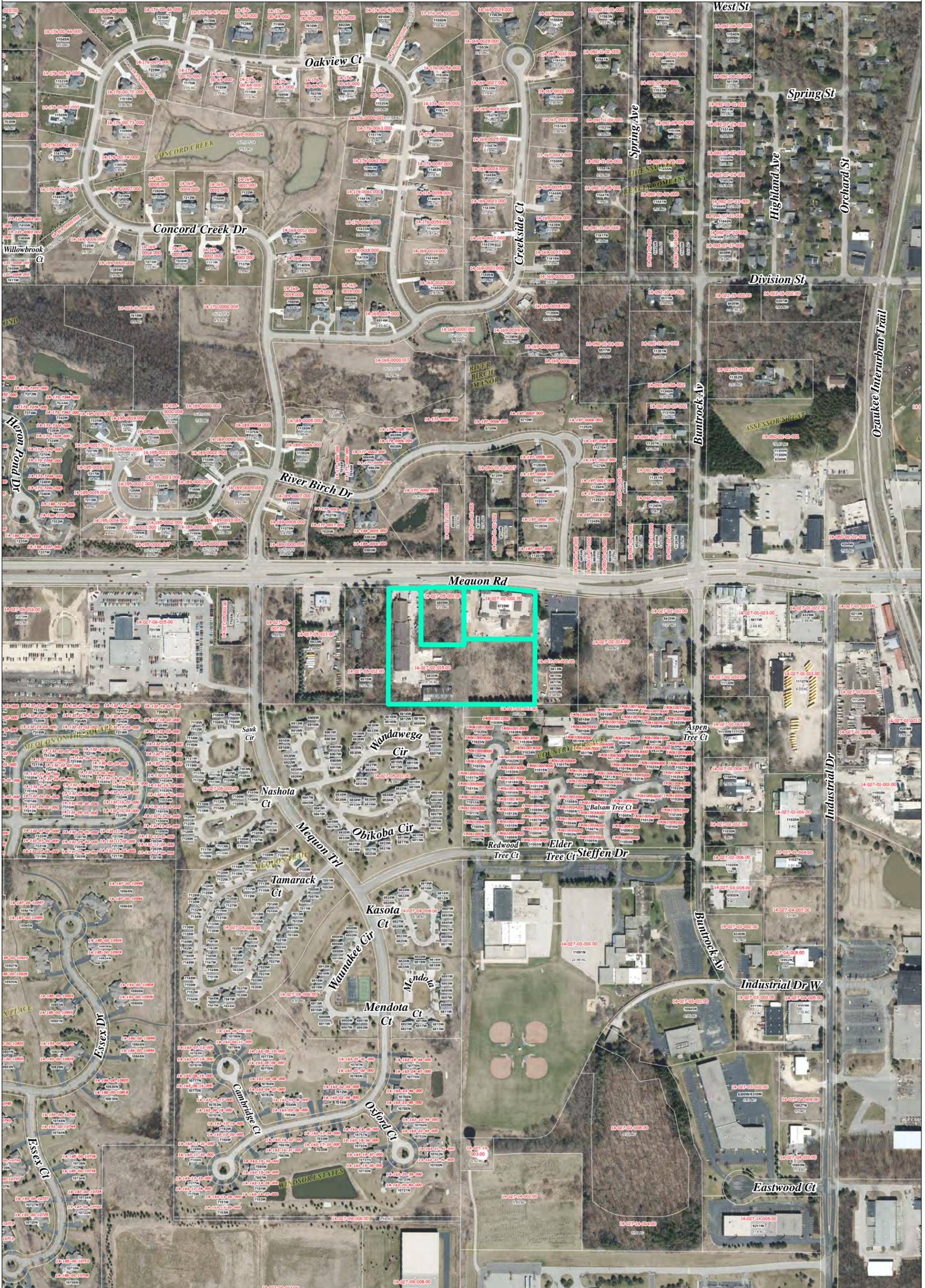
PROPOSED
WEST FACADE

ITEM #4 - P2 Development Company, Bob Bach /Lakeside Development

AC	Arrival Corridor	LTD	Limited Use
A-1	Agricultural Preserve	OA	Agricultural Overlay
A-2	General Agricultural	PUD	Planned Unit Development Overlay
B-1	Neighborhood Business	P-1	Park & Recreation
B-2	Community Business	R-1	Single-Family Residential (5 Ac. Min.)
B-3	Office & Service Business	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-4	Business Park	R-2	Single-Family Residential (2.0 Ac. Min.)
B-5	Light Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-6	Rural Industrial	R-3	Single-Family Residential (1.0 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1.0 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 du/Ac)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights



ITEM #4 - P2 Development Company, Bob Bach /Lakeside Development



STAFF REPORT

To: Mequon Planning Commission

Prepared by: Jac Zader

Agenda Item: **4**

Date: February 8, 2016

General Information:

Applicant:

Lakeside Development
Bob Bach

Status of Applicant:

Owner
Offer to Purchase

Requested Action:

Conditional Use Grant
Building and Site Plan
Specimen Tree Removal
Certified Survey Map

Existing Zoning:

AC (Arrival Corridor)
PUD (Planned Unit Development)

Proposed Zoning:

AC (Arrival Corridor)
PUD (Planned Unit Development)

Land Use Plan:

Town Center (TC)

Lot Size:

8.3 Acres

Location:

6729/6809/6835 W Mequon Road

Background:

The applicant requests Conditional Use Grant and Building/Site Plan approval for a three story, 81 unit apartment building at 6729/6809/6835 W Mequon Road. The applicant is also seeking approval for the removal of two specimen trees. The applicant appeared in front of the Planning Commission for a rezoning recommendation (PUD) in November of 2015 and received Common Council approval in December of 2015 (Ordinance #2015-1460).

Compliance with PUD:

The proposed plan is substantially compliant with the approved concept plan and PUD Ordinance. There are 81 residential units proposed with an average size of 1,232 square feet. The tenant mix includes 21 one bedroom, 42 two bedroom and 18 two bedroom with a den apartments. The following waivers to the code were approved as part of the PUD:

- 20% of the units (15 units) are allowed to be less than 1,000 square feet with the smallest units at 881 square feet.
- The maximum allowable FAR is 66%.

STAFF REPORT

Land Use Plan and Arrival Corridor (AC) District Standards:

The Land Use Plan map designates the site as Town Center and the zoning district is Arrival Corridor (AC). The following table compares the proposed plan to the AC district standards:

District Regulations:	AC:	Proposed Use:
Minimum Lot Area:	1 acres	8.3 acres
Maximum FAR Total Site:	50%	66%
Maximum Greenspace Total Site:	30%	32%
Building North Side Offset:	10 feet	13 feet
Building East Side Offset:	10 feet	52 feet
Building West Side Offset:	10 feet	20 feet
Building South Side Offset:	10 feet	13 feet
Minimum Parking Offset North:	10 feet	10 feet
Off-Street Parking Apts:	176 stalls	159 stalls
Total Parking Stalls:	391 stalls	383 stalls
Maximum Density Total Site:	146 units	141 units

Site Plan:

Overall, the site plan is consistent with the concept plan that was approved as part of the PUD rezoning. The plan shows the three story building located on the west end of the site with access from the shared driveway. Based on feedback from the December Common Council meeting, the applicant has shifted the building north in order to provide a larger buffer to the south. The site contains 23 surface parking stalls and 136 below-grade parking stalls. There will also be a shared parking agreement among the four property owners to handle any overflow parking. There is a storm water pond located in the center of the site that will be shared between three of the parcels in the development. The existing memory care currently has a storm water pond that addresses their needs. The plan includes sidewalks that will connect to other parcels within the development as well as adjacent parcels to the east and west.

The plan shows access from Mequon Road through the parcel that is slated for future retail development via an easement. Staff will require that this section of driveway be completed in conjunction with the proposed apartment building and RCAC. In addition to the driveway, staff will require the installation of sidewalks, street trees and lighting from Mequon Road to the intersection.

Building Plan:

The building design has been modified based on feedback from staff, the Planning Commission, and the Common Council. The updated plan results in a higher level of articulation on the east and north elevation in both the vertical and horizontal planes. Additional glass has been added along the perimeter of the pool and community room. The west and south elevations have been updated to include more brick and less fiber cement siding. Overall, the color palette has been modified an earth tone color palette that is compatible with the assisted living building on the adjacent parcel. Staff does recommend that the southwest corner of the building is wrapped with brick similar to what exists on the northwest corner. In addition, the south and west elevation show two different brick treatments at the third story on each side of the patio. Staff prefers the south elevation

STAFF REPORT

which shows the brick terminating at the top of the transom windows provided that there is some type of horizontal banding or other treatment above the windows.

Specimen Trees:

The City Forester, Ken Baker, has identified the two specimen trees that will be impacted by this proposal. According to a memo by Mr. Baker, dated January 27, 2016 (see attached), his recommendation is to remove the trees and replace them in accordance with the Tree Preservation Ordinance.

Conditional Use Grant:

Since the structure exceeds 2.5 stories in height, the project requires conditional use grant approval. The applicant has provided a shadow line study to show the impact of the increased height on the surrounding residential properties (see attached). The only discernable impact of the three story shadow impact versus the two and half story is the early morning December shadowing on the parcel to the west. However, based on the narrow width of the adjacent lot, it is anticipated that any future redevelopment of the parcel will result in a new structure being located in the shadow of the proposed building regardless of the height. Therefore, staff does not feel the additional story will have a negative impact on the overall value of the adjacent parcel.

Landscaping Plan:

The plan was submitted to the city's landscape architect consultant, Terry Higgins, for review and comment. Based on his review, staff will require the applicant resubmit the plan with the following changes:

- All trees shall have a minimum 3" caliper.
- Foundation plantings shall address the scale and height of the building.
- Street trees shall be added to the north and south of the access road spaced 40 feet on center for the length of the development.
- Street trees shall be added to the east and west of the access road spaced 40 feet on center from Mequon Road to the intersection.
- Replace Russian Cypress with a more soil tolerant species.
- Substitute a portion of the Black Hills Spruce with Norway Spruce.

Lighting:

The applicant has submitted a lighting plan that shows 20 foot parking lot light poles, wall packs and recessed canopy lights. The parking lot light poles are similar to what is being used at the memory care facility as well as what is being proposed for the assisted living facility. The entranceway lighting includes the same light fixture used along Cedarburg Road for the Town Center. These lights are also show on the west portion of the road that runs through the middle of the development. Staff recommends that the TC light be used on the south side of the road replacing the fixture labeled S1 on the plan. All the fixtures being proposed are dark sky friendly in accordance with the lighting code. The dispersion plan submitted for the proposed development shows light trespass levels in compliance with the lighting code with the exception of the following:

- Exit discharge lighting on the south elevation of the building exceeds 1.5 Fc

STAFF REPORT

Staff will require the applicant submit an updated lighting plan that addresses these issues as a condition of approval.

Certified Survey Map:

The proposed CSM shows parcel being divided into three separate lots each being approximately 2 acres in area. The CSM includes a shared access and maintenance easement that will provide access to the three newly created lots as well as the existing memory care facility. Staff understands the Engineering Department will be doing a full technical review of the CSM.

Engineering Report:

James Keegan, Deputy Director of Engineering, has reviewed the application and has the following comments:

Access is provided through a proposed roadway connection onto Mequon Road (STH167) via a shared access point with two adjacent proposed developments and the recently constructed Aster Memory Care. The proposed access point will be located at the center of the combined parcels and will run parallel to the ATC transmission lines. The combined access point will require that the median opening be relocated to the east. Any changes to access will require the approval of the Wisconsin Department of Transportation (WisDOT). As the four parcels will utilize a single access point via a shared access roadway, an Ingress/Egress Easement and Shared Maintenance Agreement will be required for the access roadway and storm sewer system. All three parcels will be served by public sanitary sewer, public water service and storm sewer extensions that will be made within the footprint of the proposed shared access roadway as a part of this overall development.

The geometric layout of the access roadway and paring areas shall be designed so that access is provided for all emergency services vehicles and the largest design vehicle that will be utilizing the roadway. Intersection curb returns shall be designed to allow for emergency vehicles, but shall default to a minimum of 15' to the back of curb in locations that allow.

The site is located within the City's sewer service area and connection to the public utility is required. As a new development and as a condition of approval, the development must connect to the public water main. The site plan shows the water and sanitary sewer connections being made to the public main extensions located within the access roadway. A water services agreement and water easement will be required for the public water main extension. A sanitary sewer easement will be required for the public main extension.

The combined site proposes an increase in impervious surface in excess of one half acre and therefore requires a storm water management plan (SWMP). The SWMP must be approved by the City and MMSD. The site plan proposes a shared dry detention facility located at the south central portion of the site. The facility will serve both the apartment building and the future development in the northwest quadrant of the overall development. The facility will be within the ATC easement area and subject to any requirements that apply. A Storm Water Facilities Maintenance and Easement Declaration & Agreement will be required.

STAFF REPORT

The site proposes land disturbance in excess of one acre, therefore a City erosion control permit is required. Evidence of the WDNR required WRAPP permit shall also be provided for the site.

Staff Recommendation: Planning staff recommends approval of the conditional use grant, building and site plan and specimen tree removal subject to the following conditions:

1. Staff review and approval of all site, building, landscaping, lighting and elevation plans.
2. The applicant shall provide 20" of replacement trees on the property or in a City park or pay \$2,000 to the City of Mequon for urban forestry projects.
3. The landscaping plan shall be revised and shall address the following issues:
 - All trees shall have a minimum 3" caliper.
 - Foundation plantings shall address the scale and height of the building.
 - Street trees shall be added to the north and south of the access road spaced 40 feet on center for the length of the development.
 - Street trees shall be added to the east and west of the access road spaced 40 feet on center from Mequon Road to the intersection.
 - Replace Russian Cypress with a more soil tolerant species
 - Substitute a portion of the Black Hills Spruce with Norway Spruce.
4. The lighting plan shall be revised and shall address the following issues:
 - Exit discharge lighting on the south elevation of the building exceeds 1.5 Fc.
 - The TC light fixture is used along the access road replacing the fixtures labeled S1 on the plan.
5. The site plan shall be revised to address the following:
 - Both the sidewalk and access road be extended to the west property line.
 - Sidewalk along west side of driveway from Mequon Road shall extend for the length of the entire driveway.
6. The landscaping plan shall be revised and shall address the following issues:
 - All trees shall have a minimum 3" caliper.
 - The parking lot 30% shading requirement shall be complied with.
7. Staff review and approval for all fixture cut sheets.
8. Staff review and approval of retaining wall and fencing.
9. A landscaping escrow equal to 125% of the improvement costs for installation of landscaping by a licensed contractor and an escrow equal to 25% of the landscape contract cost to insure that landscaping that dies within three (3) years of installation will be replaced by the applicant.
10. All ground-level and roof top mechanical equipment shall be well screened from public view with screening or landscaping.
11. City Attorney approval of all legal documents including the shared access and maintenance agreement for the shared access roadway.
12. Connection to public water and sanitary sewer. The applicant shall obtain the necessary approval and permits for the installation of the sanitary sewer and water main from the various regulatory agencies. This will require public main extensions and easements. Water main shall extend to the adjacent properties.

STAFF REPORT

13. The shared access road will require an Ingress/Egress Easement and Shared Maintenance Agreement between all benefiting parties.
14. All permanent structures and construction activity that occurs within the ATC Easement will be subject to ATC and OSHA offsets and requirements.
15. Engineering Department review and approval of the individual grading, drainage, erosion control, water distribution and sanitary sewer plans along with the storm water management plan in conformance to City ordinances and the Standard Specifications for Land Development.
16. Fire Chief approval of the site access. Intersection radii shall be minimized while allowing for adequate access of emergency vehicles.
17. Approval of a storm water management plan for the site in conformance to City ordinances and MMSD Chapter 13, including execution of a Storm Water Facilities Maintenance and Easement Agreement.
18. Application for and approval of a City erosion control permit, subject to applicable fees and conditioned upon WDNR issuance of a WRAPP permit.
19. Execution of a Water Service Agreement between the applicant and the Water Utility subject to applicable fees. The mainline water main shall meet Water Utility standards for ISO recommended fire flows.
20. WisDOT right-of-way permit for any utility or construction work within the right-of-way.
21. Any existing legal documents for the site shall be amended or vacated as appropriate to reflect changes in property ownership and maintenance requirements.
22. As a condition of approval and issuance of the permit, the city engineer will require in accordance with City ordinance 58-677(b) that the applicant deposit an escrow or letter of credit to guarantee a good faith execution of the approved control plan and any permit conditions. The escrow / letter of credit shall be in an amount equal to 125% of the estimated cost of construction and maintenance of the storm water management practices and the City will release the portion of the Financial Guarantee less any costs incurred by the city to complete installation of practices, upon submission of a certification in accordance with 58-678(h).

Prepared By: _____



11333 N. Gedarburg Rd 60W
Mequon, WI 53092-1930
Phone (262) 512-1297
Fax (262) 238-1580

www.ci.mequon.wi.us

Office of the City Forester

MEMORANDUM

SUBJECT: Specimen Tree Removal
ADDRESS: 6835 W. Mequon Rd.
OWNER: Lakeside Development, Rob Niebauer
DATE: January 27, 2016

Observations:

I, Ken Baker, Mequon City Forester, marked (2) specimen White Pines measuring 12" and 14", for a total of 26" of specimen trees.

Recommendation:

I recommend the removal of the (2) specimen trees totaling 26". According to the policy for Tree Preservation in the City of Mequon, the Planning Commission has the authority to grant approval. The owner would then be required to replace 75% of the diameter, which in this case would be 20" of replacement trees. This could be (10) 2" trees to be planted onsite or in a City park, or \$2000.00 can be donated to the City's Urban Forestry account. This would be put into a non-lapsing fund to be used for Urban Forestry projects. Either way, the monies would be held by the City before a building permit is issued and returned when completed.

Thank you,

Ken Baker WI-0286AM























PROPOSED RESIDENTIAL DEVELOPMENT
TOWN CENTER
6801 +/- WEST MEQUON ROAD
CITY OF MEQUON, OZAUKEE CO

Issue:

Document Date:
1/11/2016

Project Number:
15030

Sheet Title:
BUILDING ELEVATIONS

Sheet Number:



1 NORTH ELEVATION (EAST WING & COMMON COURT)
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

MATERIAL	MANUFACTURER	SIZE	COLOR
BRICK	BORAL BRICKS	MODULAR	OAK RESERVE QUEEN (TERRE HAUTE)
LANNON STONE	DUTCH QUALITY STONE	VARIES	PRESTIGE WEATHER LEDGE
STONE SILL	HERITAGE CAST STONE	8"	SNOWCAP
STONE LINTEL/JAMB	HERITAGE CAST STONE	4"	GRAYSTONE
BRICK BAND	BORAL BRICKS	MODULAR SOLDIER	WILDWOOD (PHENIX CITY)
FIBER CEMENT SIDING 1	JAMES HARDIE	8"	KHAKI BROWN (SMOOTH)
FIBER CEMENT SIDING 2	JAMES HARDIE	4"	CHESTNUT BROWN (SMOOTH)
FIBER CEMENT TRIM BOARD	JAMES HARDIE	4" JAMBS/HEAD 8" SILL	COBBLESTONE
EIFS TRIM 1			COLOR TO MATCH TRIM BOARD



2 EAST ELEVATION (WEST WING & COMMON COURT)
1/8" = 1'-0"



1 EAST ELEVATION OF WEST WING
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

MATERIAL	MANUFACTURER	SIZE	COLOR
BRICK	BORAL BRICKS	MODULAR	OAK RESERVE QUEEN (TERRE HAUTE)
LANNON STONE	DUTCH QUALITY STONE	VARIES	PRESTIGE WEATHER LEDGE
STONE SILL	HERITAGE CAST STONE	8"	SNOWCAP
STONE LINTEL/JAMB	HERITAGE CAST STONE	4"	GRAYSTONE
BRICK BAND	BORAL BRICKS	MODULAR SOLDIER	WILDWOOD (PHENIX CITY)
FIBER CEMENT SIDING 1	JAMES HARDIE	8"	KHAKI BROWN (SMOOTH)
FIBER CEMENT SIDING 2	JAMES HARDIE	4"	CHESTNUT BROWN (SMOOTH)
FIBER CEMENT TRIM BOARD	JAMES HARDIE	4" JAMBS/HEAD 8" SILL	COBBLESTONE
EIFS TRIM 1			COLOR TO MATCH TRIM BOARD



2 NORTH ELEVATION OF EAST WING
1/8" = 1'-0"

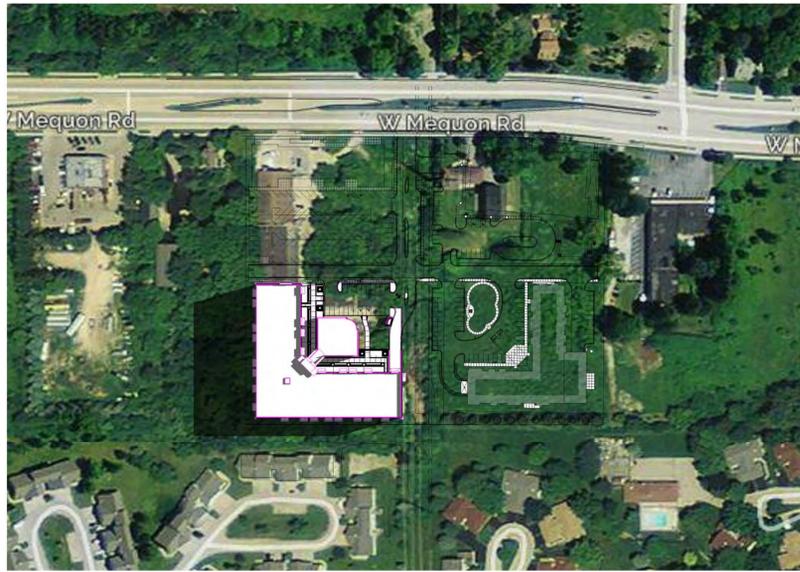
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Document Date:
1/11/2016

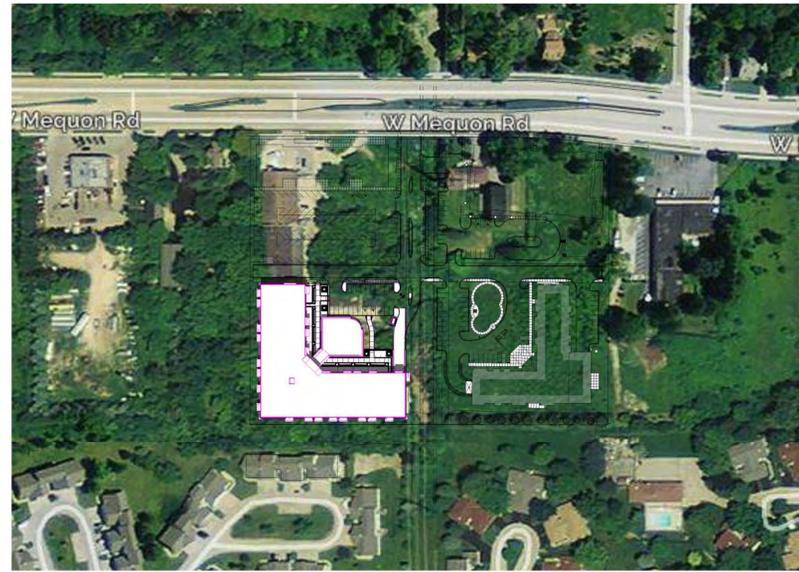
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15030

Sheet Title:
BUILDING
ELEVATIONS

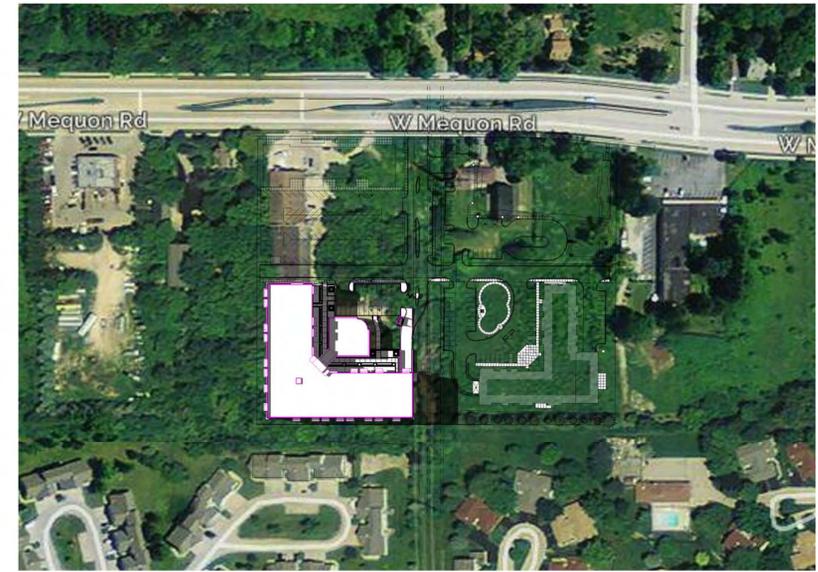
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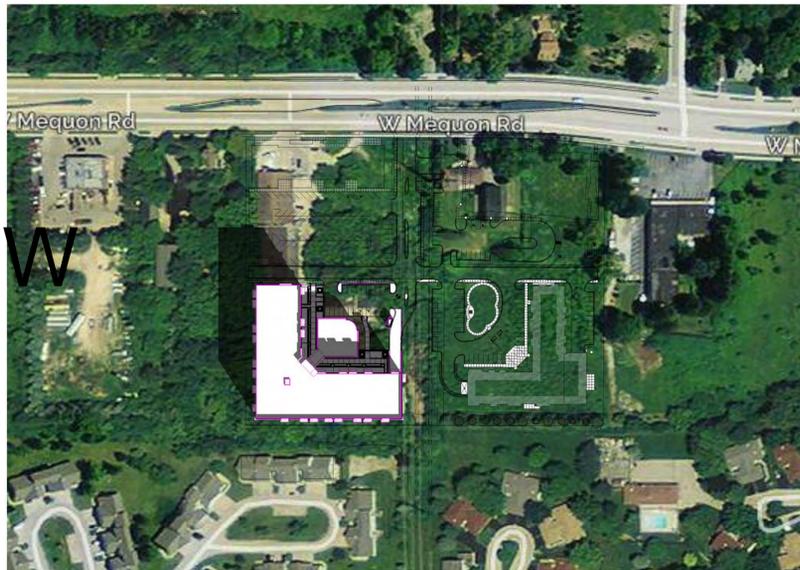
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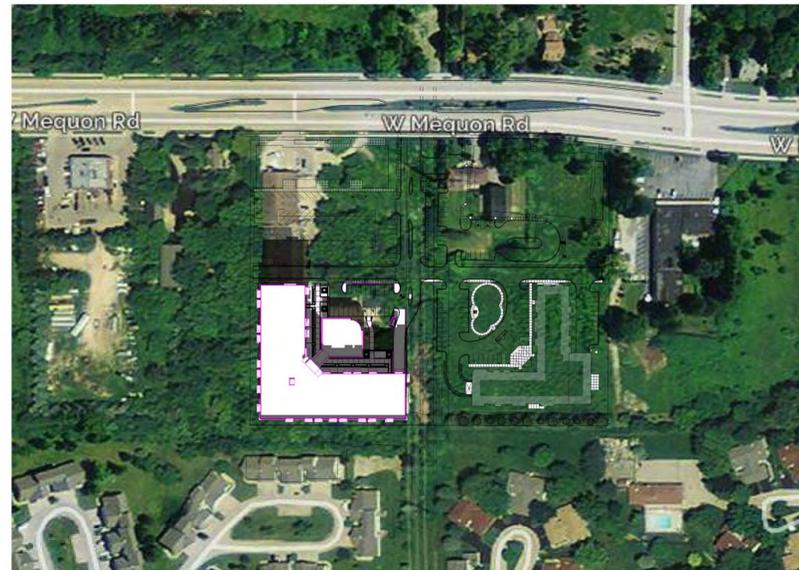
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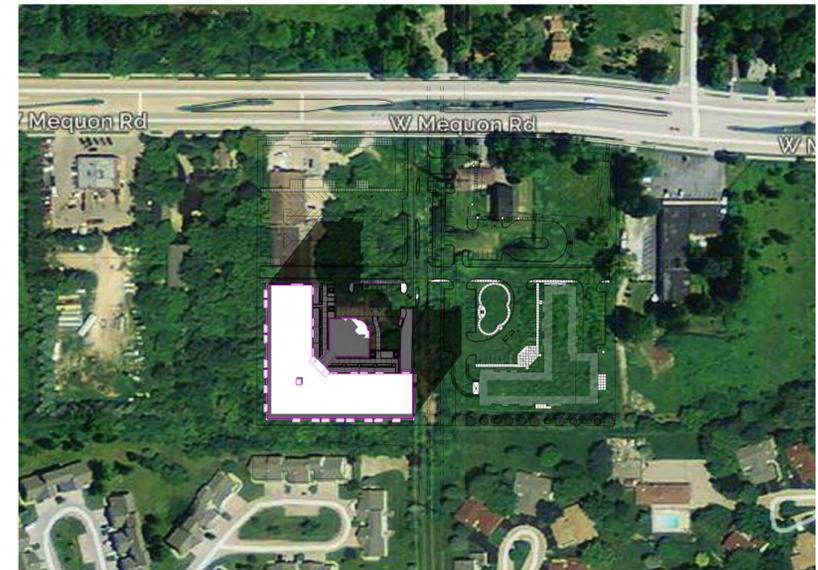
SOLAR STUDY - JUNE 22, 2015 5 PM



SOLAR STUDY - DECEMBER 22, 2015 7 AM



SOLAR STUDY - DECEMBER 22, 2015 12 PM



SOLAR STUDY - DECEMBER 22, 2015 4 PM



NORTH

SOLAR STUDY

N.T.S.

PROPOSED RESIDENTIAL DEVELOPMENT
TOWN CENTER
 6801 +/- WEST MEQUON ROAD
 CITY OF MEQUON, OZAUKEE CO.

Issue:

Document Date:

Project Number:
15030

Sheet Title:
SOLAR STUDY

Sheet Number:

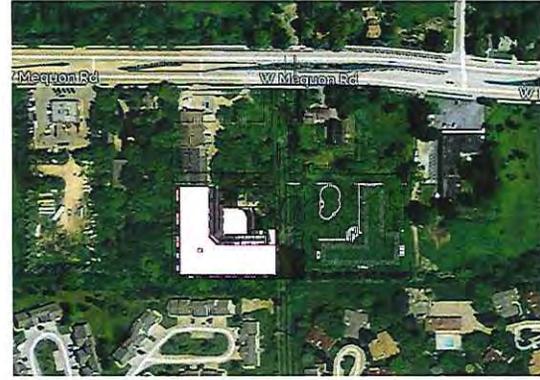
C-113



SOLAR STUDY - JUNE 22, 2015 6 AM



SOLAR STUDY - JUNE 22, 2015 12 PM



SOLAR STUDY - JUNE 22, 2015 5 PM



SOLAR STUDY - DECEMBER 22, 2015 7 AM



SOLAR STUDY - DECEMBER 22, 2015 12 PM



SOLAR STUDY - DECEMBER 22, 2015 4 PM

PROPOSED RESIDENTIAL DEVELOPMENT
TOWN CENTER
 6801 +/- WEST MEQUON ROAD
 CITY OF MEQUON, OZAUKEE CO.

Issue:

Document Date:

Project Number:
15030

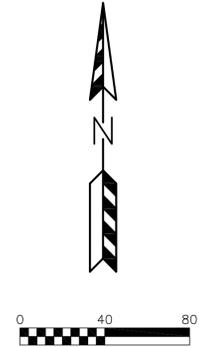
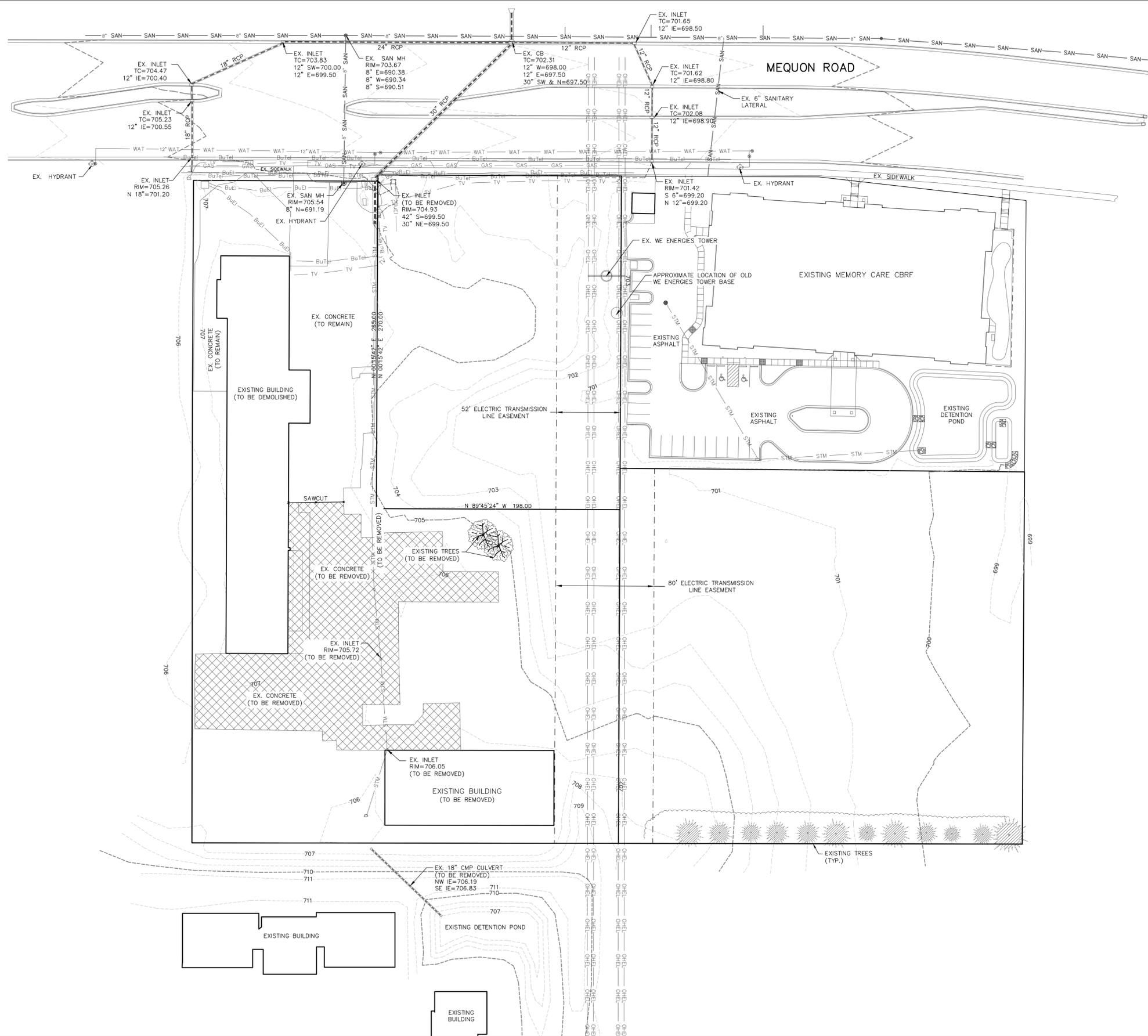
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SOLAR STUDY

Sheet Number:

C-113



SOLAR STUDY
N.T.S.



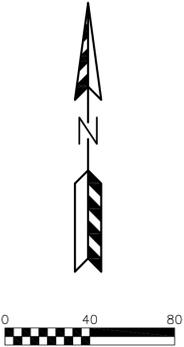
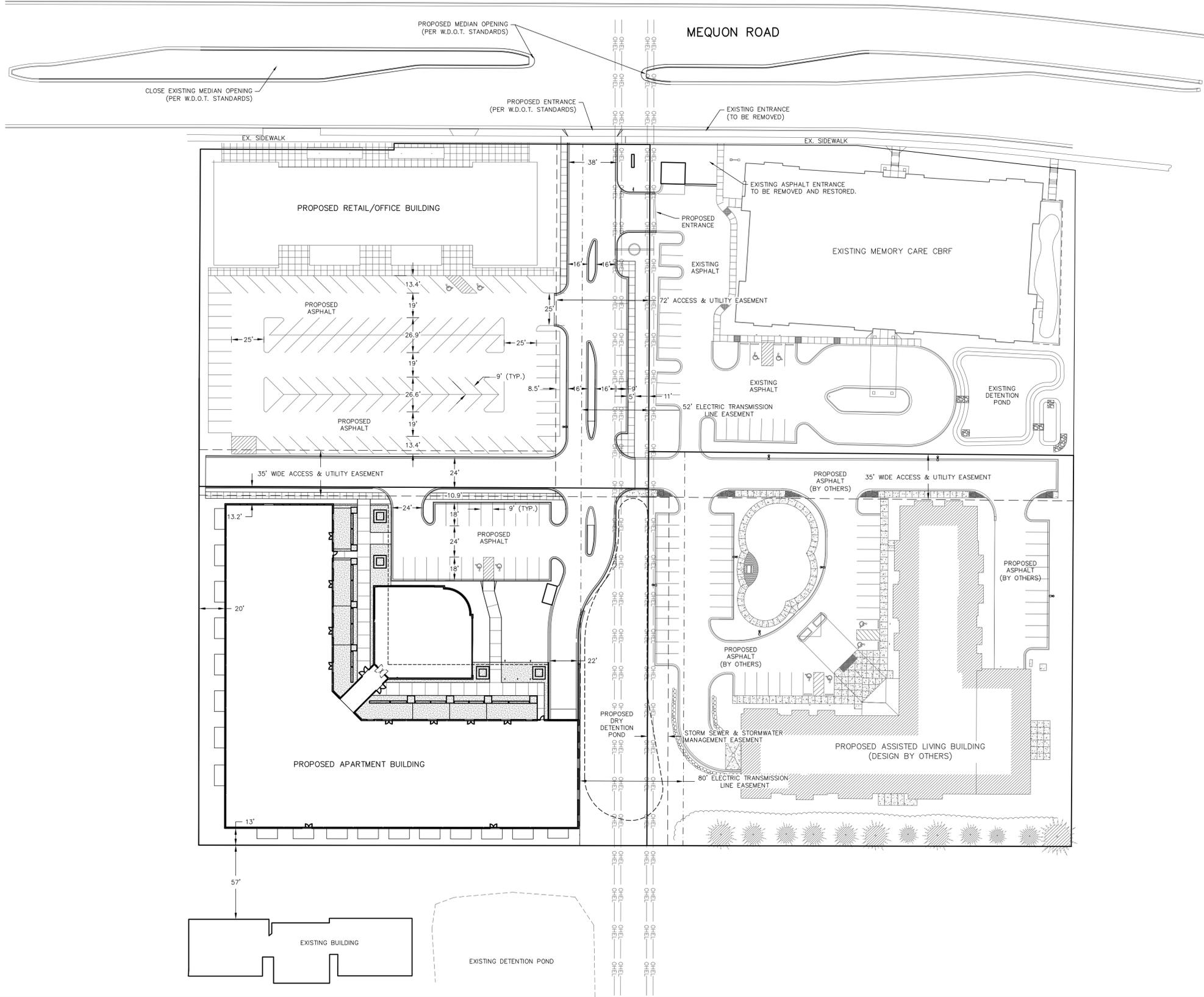
- REMOVAL NOTES:**
1. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
 2. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR ABANDONMENT OR REMOVAL. EXISTING UTILITIES THAT ARE TO BE ABANDONED OR REMOVED SHALL BE RESPECTIVELY ABANDONED OR REMOVED TO THE LOCATIONS INDICATED ON THIS PLAN. ALL UTILITY STRUCTURES LOCATED ALONG REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY.
 3. ASPHALT PAVEMENT OR CONCRETE NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
 4. ITEMS SCHEDULED FOR REMOVAL AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.
 5. CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
 6. CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, RULES AND REGULATIONS APPLICABLE TO DEMOLITION WORK INCLUDING BUT NOT LIMITED TO EROSION CONTROL, AIR POLLUTION, NOISE POLLUTION, AND WASTE DISPOSAL.
 7. CONTRACTOR SHALL REPLACE PAVEMENT, CURB AND GUTTER, TREES, LAWN AREA, ANY ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEM THAT WAS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES AS DEEMED BY OWNERS REPRESENTATIVE THAT WAS NOT CALLED OUT FOR REMOVAL OR REPLACEMENT. CONTRACTOR SHALL REPLACE/REPAIR DAMAGED ITEM TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.

MEQUON TOWN CENTER
 EXISTING CONDITIONS PLAN
 DATED: JANUARY 11, 2016

C-101

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

544 South Main Street, Suite B; West Bend, Wisconsin 53095
 Phone (262) 338-6641; www.quamengineering.com

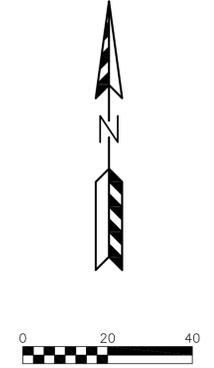
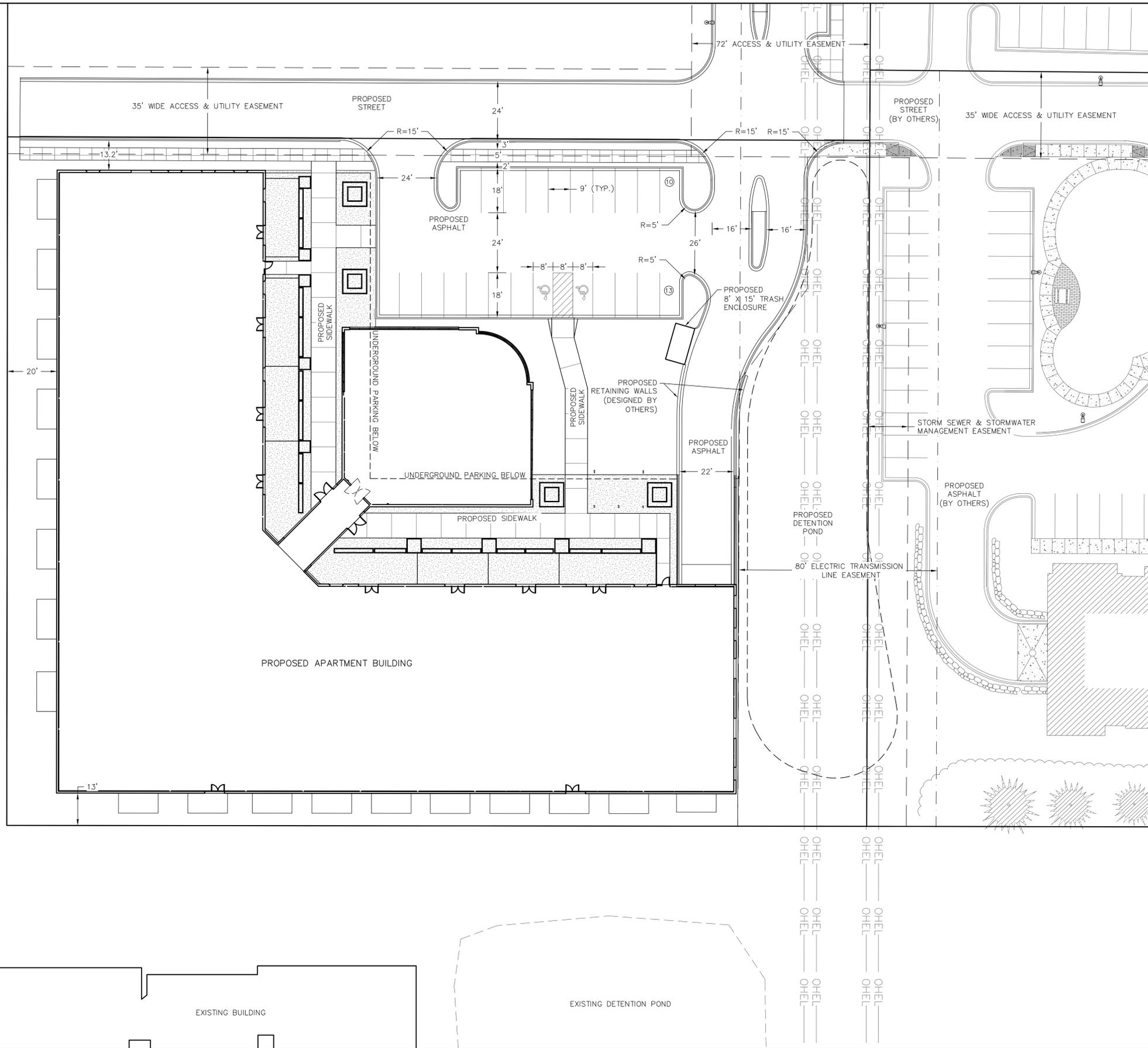


MEQUON TOWN CENTER
 OVERALL SITE PLAN
 DATED: JANUARY 11, 2016

C-106

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

544 South Main Street, Suite B; West Bend, Wisconsin 53095
 Phone (262) 338-6641; www.quamengineering.com



PARKING LOT PLAN SITE INFORMATION BLOCK

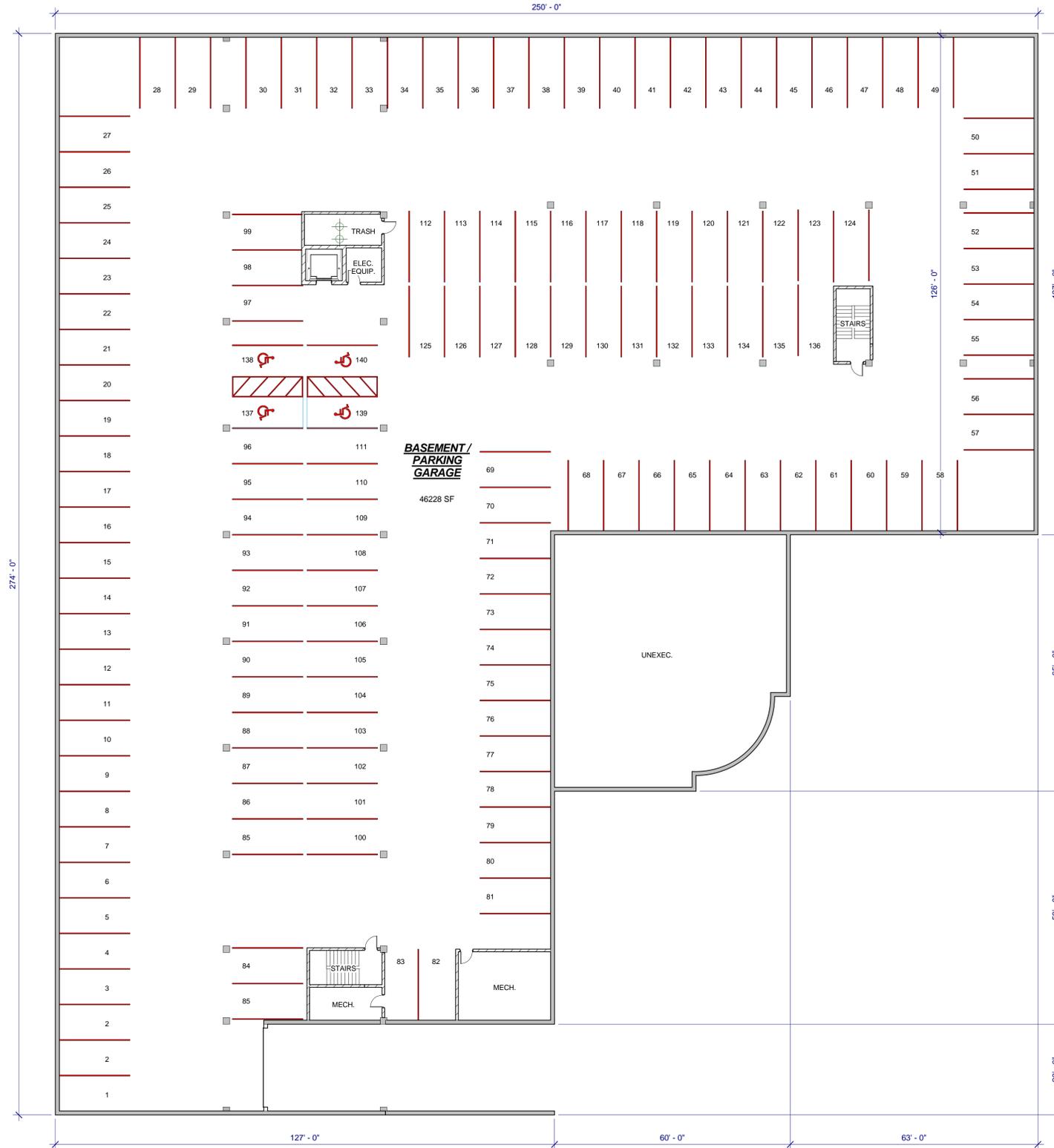
Site Address MEQUON ROAD
 Site acreage (total) 2.198 ACRES.

Number of Parking stalls:

	SHOWN
Car	21
Accessible	2
Total	23

MEQUON TOWN CENTER
 PROPOSED SITE PLAN
 DATED: JANUARY 11, 2016

C-102



**BASEMENT /
PARKING
GARAGE**

46228 SF

UNEXEC.

BASEMENT FLOOR AREA:	50,419 sqft
STANDARD PARKING STALLS:	136
HC PARKING STALLS:	4
EXTERIOR PARKING STALLS:	21
EXTERIOR HC PARKING STALLS:	2

1 BASEMENT FLOOR PLAN

1/16" = 1'-0"



CITY SUBMITTAL

**PROPOSED RESIDENTIAL DEVELOPMENT
TOWN CENTER
6801 +/- WEST MEQUON ROAD
CITY OF MEQUON, OZAUKEE CO**

Issue:

Document Date:
1/11/2016

Project Number:
15030

Sheet Title:
BASEMENT PLAN

Sheet Number:

A-100

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1 1st LEVEL FLOOR PLAN

1/16" = 1'-0"

FIRST FLOOR APARTMENT AREA: 37,472 sqft
 FIRST FLOOR COMMON COURT AREA: 5,797 sqft

UNITS PER FLOOR:
 (7) 1 BEDROOM
 (14) 2 BEDROOM
 (6) 2 BEDROOM + DEN
 (27) TOTAL UNITS PER FLOOR

Issue:

Document Date:
 1/11/2016

Project Number:
 15030

Sheet Title:
 FIRST FLOOR PLAN

Sheet Number:



CITY SUBMITTAL

A-101

PROPOSED RESIDENTIAL DEVELOPMENT
TOWN CENTER
 6801 +/- WEST MEQUON ROAD
 CITY OF MEQUON, OZAUKEE CO



P2 DEVELOPMENT COMPANY LLC
 General Contracting / Construction Management
 2644 Cedar Sauk Rd. Saukville, WI 53080
 Phone: 262-377-7269 Fax: 262-284-6907



1 2nd LEVEL FLOOR PLAN

1/16" = 1'-0"

SECOND FLOOR APARTMENT AREA: 37,472 sqft
 ROOF AREA: 5,797 sqft
 UNITS PER FLOOR:
 (7) 1 BEDROOM
 (14) 2 BEDROOM
 (6) 2 BEDROOM + DEN
 (27) TOTAL UNITS PER FLOOR



PROPOSED RESIDENTIAL DEVELOPMENT
TOWN CENTER
 6801 +/- WEST MEQUON ROAD
 CITY OF MEQUON, OZAUKEE CO

Issue:
 Document Date:
 1/11/2016
 Project Number:
 15030
 Sheet Title:
 SECOND LEVEL
 FLOOR PLAN

Sheet Number:

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1 3rd LEVEL FLOOR PLAN

1/16" = 1'-0"

THIRD FLOOR APARTMENT AREA: 37,472 sqft

UNITS PER FLOOR:
 (7) 1 BEDROOM
 (14) 2 BEDROOM
 (6) 2 BEDROOM + DEN
 (27) TOTAL UNITS PER FLOOR

Issue:

Document Date:

1/11/2016

Project Number:

15030

Sheet Title:

THIRD LEVEL FLOOR PLAN

Sheet Number:



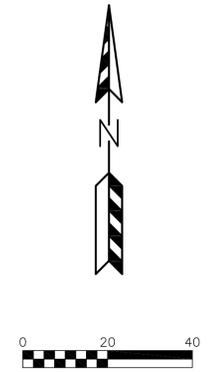
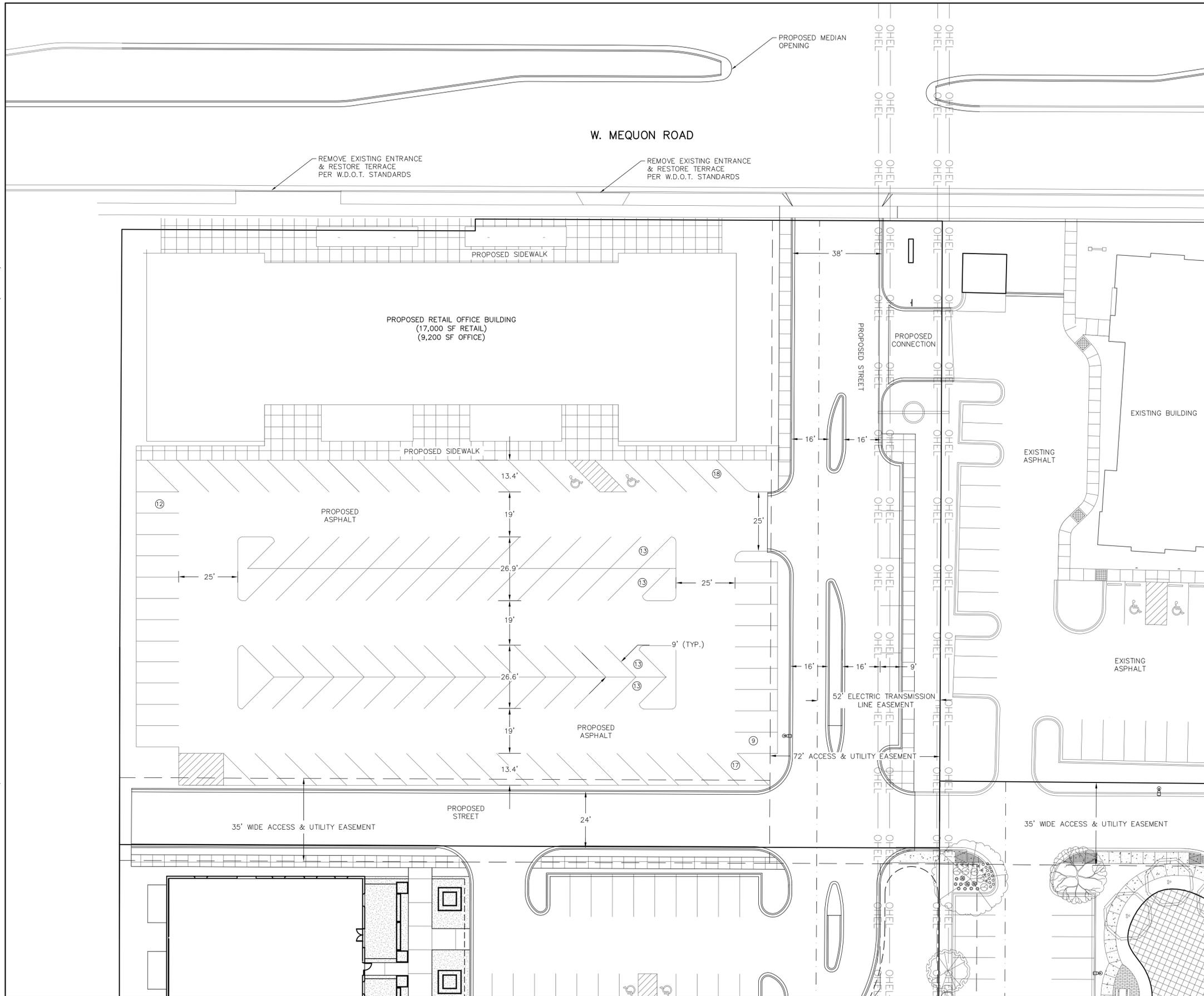
CITY SUBMITTAL

A-103

**PROPOSED RESIDENTIAL DEVELOPMENT
 TOWN CENTER
 6801 +/- WEST MEQUON ROAD
 CITY OF MEQUON, OZAUKEE CO**



P2 DEVELOPMENT COMPANY LLC
 General Contracting / Construction Management
 2644 Cedar Sauk Rd. Saukville, WI 53080
 Phone: 262-377-7259 Fax: 262-284-6907



PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address MEQUON ROAD
 Site acreage (total) 2.097 ACRES

Number of Parking stalls:

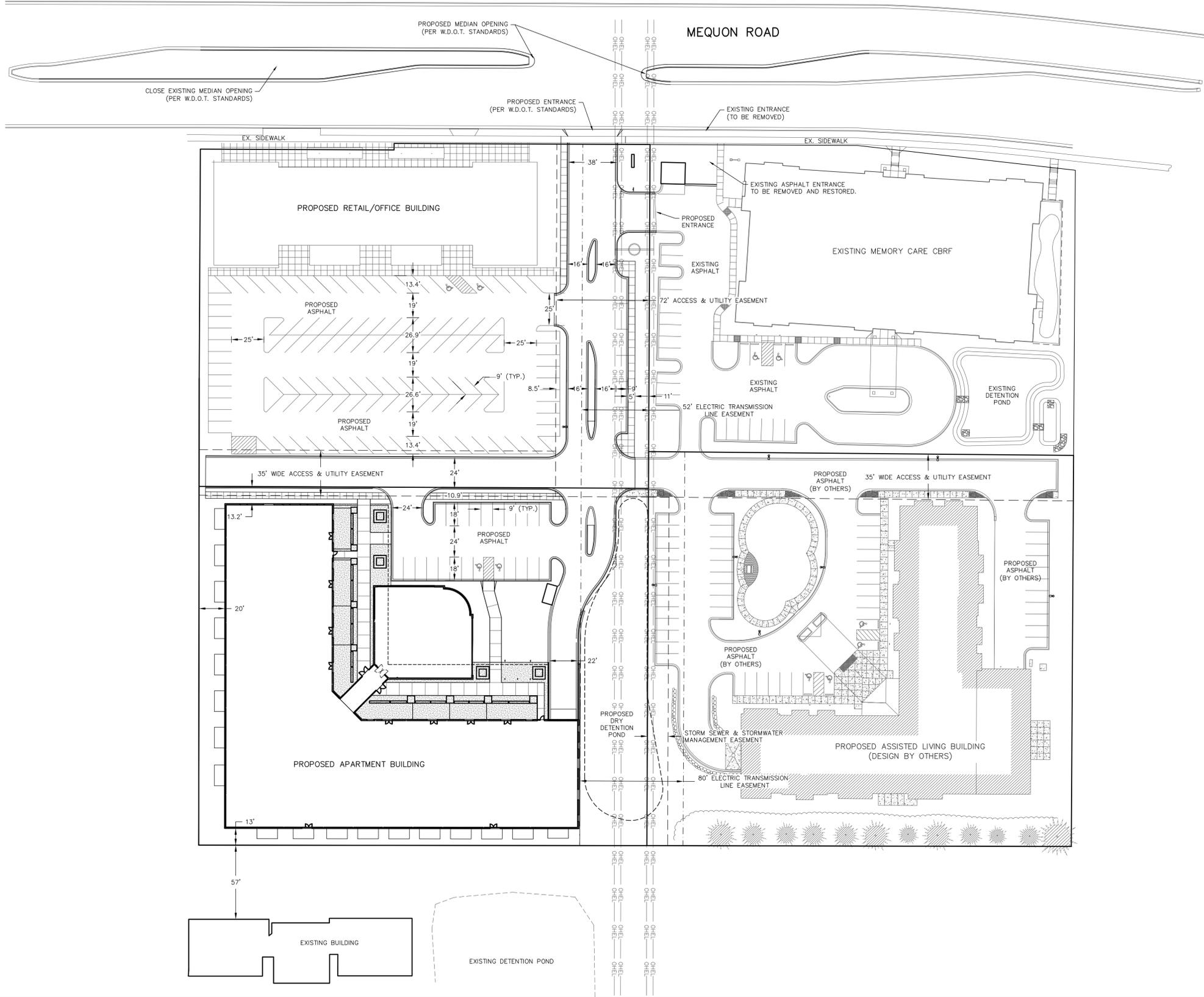
	SHOWN
Car	106
Accessible	2
Total	108

LAKESIDE DEVELOPMENT COMPANY
 SITE PLAN
 DATED: JANUARY 11, 2016

C-112

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

544 South Main Street, Suite B; West Bend, Wisconsin 53095
 Phone (262) 338-6641; www.quamengineering.com



MEQUON TOWN CENTER
 OVERALL SITE PLAN
 DATED: JANUARY 11, 2016

C-106

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants



544 South Main Street, Suite B; West Bend, Wisconsin 53095
 Phone (262) 338-6641; www.quamengineering.com

WEST MEQUON ROAD

S 89°45'24" E 149.84

S 89°45'24" E 188.06

S 00°15'42" W 270.00

S 00°15'42" W 236.50

N 00°03'36" E 359.71

N 89°56'24" W 346.67

ID	Description	Size	Manufacturer	Model #	Voltage	Lamps	Mounting	Remarks
S1	LED POLE MOUNTED LIGHT	40"x15"x7.25"	LITHONIA	DSX2 LED 100C 700 40K T2M MVOLT SPA DBXK	120	LED, 23093L, 232W, 80CRI	20'POLE	
S2	LED POLE MOUNTED LIGHT	40"x15"x7.25"	LITHONIA	DSX2 LED 100C 700 40K T3M MVOLT	120	LED, 23098L, 232W, 80CRI	20'POLE	
S3	RECESSED LED CANOPY DOWNLIGHT	8"ø	GOTHAM	EVO 40/20 8AR ND LSS 120 EZ1	120	LED, 2287L, 32W, 80+CRI	RECESSED	
S4	WALL MOUNT LED, FULL CUTOFF	6.5"x8.75"x3.5"	RAB	SLIM 18N BRONZE	120	LED, 18W, 1855L B2 CRI	SURFACE	
S5	RECESSED LED CANOPY DOWNLIGHT	8"ø	GOTHAM	EVO 40/10 6AR WD LSS 120 EZ1	120	LED, 1059L, 12W, 80+CRI	RECESSED	
T1	LED POLE MOUNTED LIGHT	40"x15"x7.25"	AAL	PROV T3 32LED 4K 700	120	LED, 5183L, 75W, 70+CRI	20'POLE	CITY STANDARD ROADWAY LIGHTING

1 SITE PLAN - LIGHTING PHOTOMETRICS
E100 SCALE: 1" = 20' - 0"



MEQUON ASSISTED LIVING
WEST MEQUON ROAD
MEQUON, WI 53097

ICONICARE, LLC
901 DEMING WAY, SUITE 102
MADISON, WI 53717

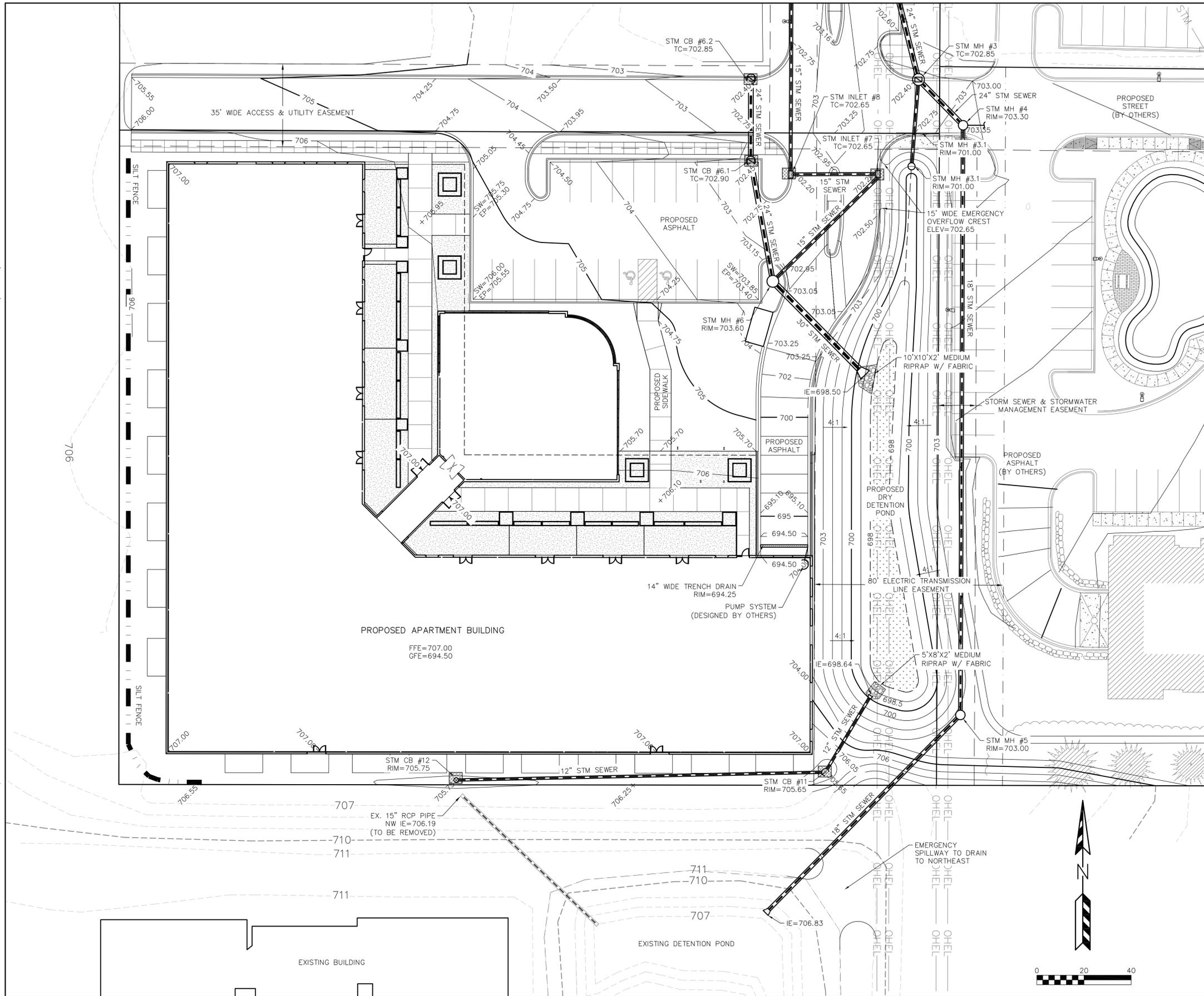
ISSUE DATES:
CITY SUBMITTAL #1: 08-03-15
CITY SUBMITTAL #3: 01-11-16

RFISI DATE:

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PROJECT #: 20150040
SHEET NUMBER

E100



EROSION NOTES:
 THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM. UNLESS OTHERWISE APPROVED BY THE ENGINEER, MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

TIME SCHEDULE:

APRIL 1, 2016	INSTALL INITIAL EROSION CONTROL DEVICES.
APRIL 2 - MAY 15, 2017	CONSTRUCT PROPOSED BUILDING, PARKING LOT AND UTILITIES.
MAY 16 - 31, 2017	COMPLETE FINAL LANDSCAPING AND RESTORE ALL PVIOUSLY DISTURBED AREAS.

RESTORATION NOTES:

ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEEDDED WITH OLDS "NOMOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEEDDED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.

AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.

ALL FINISH GRADED AREAS SHALL BE SEEDDED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEEDDED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1099, FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDBED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.

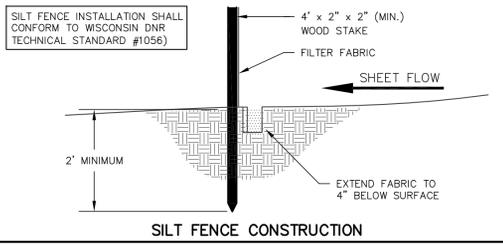
THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDDED AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

OWNER:
 P2 DEVELOPMENT COMPANY, LLC
 ATTN: ROBERT SACH
 2644 CEDAR SAUK ROAD
 SAUKVILLE, WI 53080

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: KEVIN PARISH
 544 SOUTH MAIN STREET, SUITE B
 WEST BEND, WI 53095

LEGEND:

- 702 --- EXISTING MINOR CONTOUR.
- 700 --- EXISTING MAJOR CONTOUR.
- 702 --- PROPOSED MINOR CONTOUR.
- 700 --- PROPOSED MAJOR CONTOUR.
- --- PROPOSED STORM SEWER.
- --- EXISTING STORM SEWER.
- --- INSTALL WDOT TYPE D INLET PROTECTION.

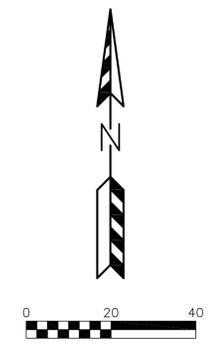
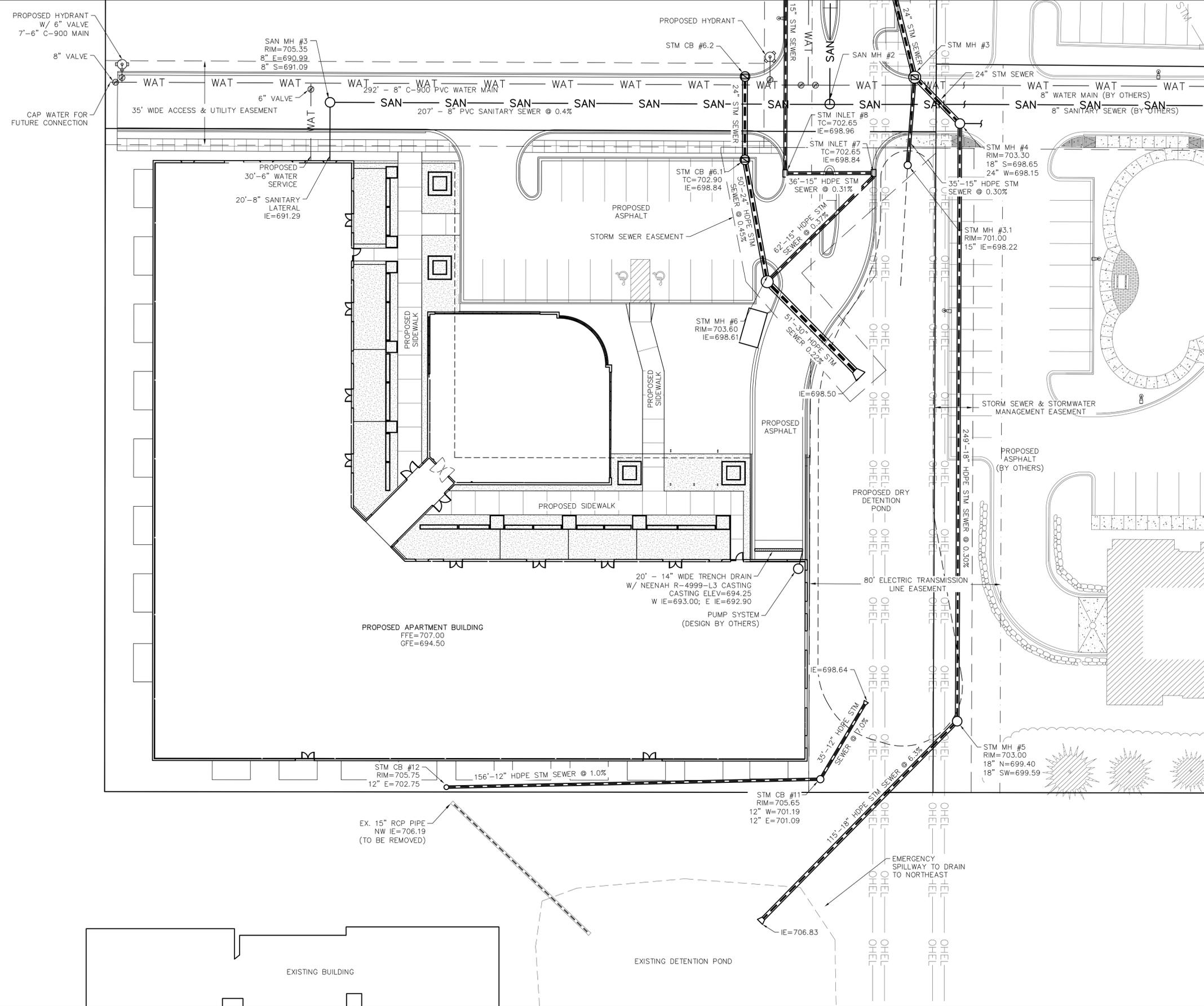


MEQUON TOWN CENTER
 GRADING AND EROSION CONTROL PLAN
 DATED: JANUARY 11, 2016

C-103

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

544 South Main Street, Suite B; West Bend, Wisconsin 53095
 Phone (262) 338-6641; www.quamengineering.com



UTILITY NOTES:

ALL SANITARY SEWER, STORM SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MEQUON AND WISCONSIN DSPS STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE CONTRACTOR SHALL VERIFY EXISTING SANITARY SEWER LATERAL INVERT IN PRIOR TO BUILDING CONSTRUCTION AND SHALL REPORT DISCREPANCIES PRIOR TO COMMENCING WORK TO THE ENGINEER OR BUILDING CONTRACTOR.

THE CONTRACTOR SHALL CONTACT THE CITY OF MEQUON PRIOR TO TAPPING THE 8" WATER SERVICE.

BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION WISCONSIN, LATEST EDITION.

GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION SIZE AND DEPTH OF NEW SERVICE.

SANITARY SEWER SHALL BE PVC ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.

WATER MAIN SHALL BE AWWA C900 CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.

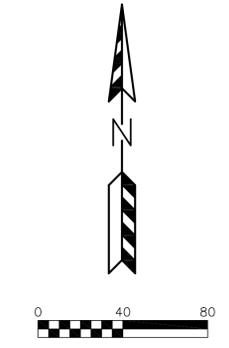
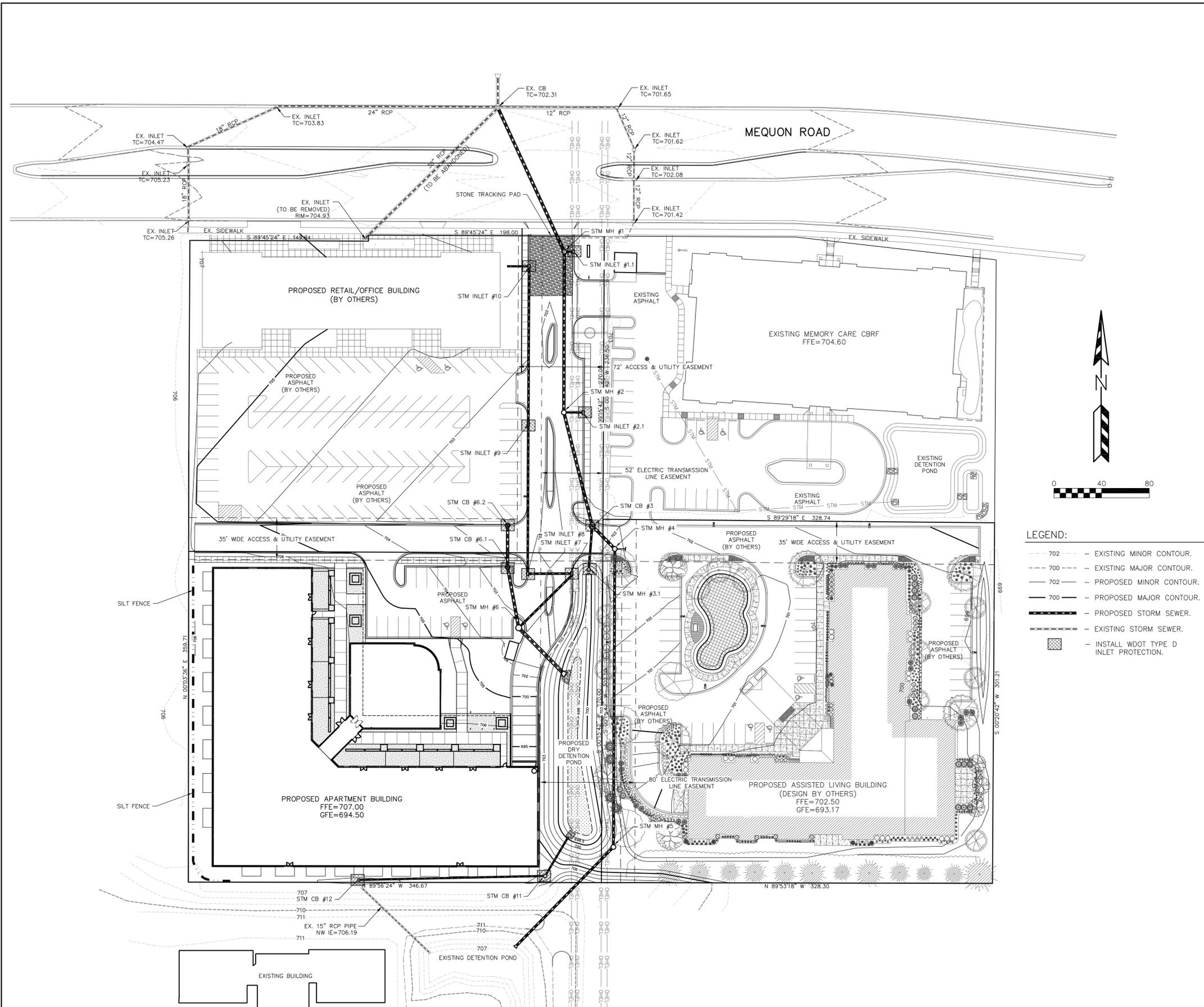
ALL SANITARY PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND SHALL BE A MINIMUM OF 48-INCH DIAMETER WIN ECCENTRIC CONE TYPE PRECAST TOPS AND SHALL BE FITTED WITH AN EXTERNAL SEAL. FLAT TOP SLABS SHALL BE USED ONLY WITH APPROVAL OF CITY ENGINEER.

MEQUON TOWN CENTER
 UTILITY PLAN
 DATED: JANUARY 11, 2016

C-104

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

544 South Main Street, Suite B, West Bend, Wisconsin 53095
 Phone (262) 338-6641; www.quamengineering.com



- LEGEND:**
- 702 --- EXISTING MINOR CONTOUR.
 - 700 --- EXISTING MAJOR CONTOUR.
 - 702 --- PROPOSED MINOR CONTOUR.
 - 700 --- PROPOSED MAJOR CONTOUR.
 - --- PROPOSED STORM SEWER.
 - --- EXISTING STORM SEWER.
 - --- INSTALL WDOT TYPE D INLET PROTECTION.

EROSION NOTES:

THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

TIME SCHEDULE:

APRIL 1, 2016	INSTALL INITIAL EROSION CONTROL DEVICES.
APRIL 2 - MAY 15, 2017	CONSTRUCT PROPOSED BUILDING, PARKING LOT AND UTILITIES.
MAY 16 - 31, 2017	COMPLETE FINAL LANDSCAPING AND RESTORE ALL PVIOUSLY DISTURBED AREAS.

RESTORATION NOTES:

ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEEDED WITH OLDS "NOMOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEEDED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.

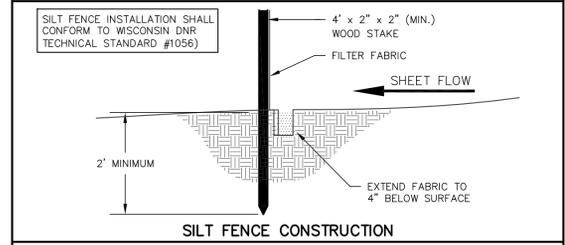
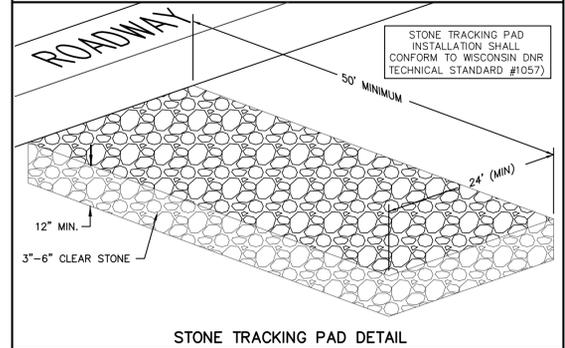
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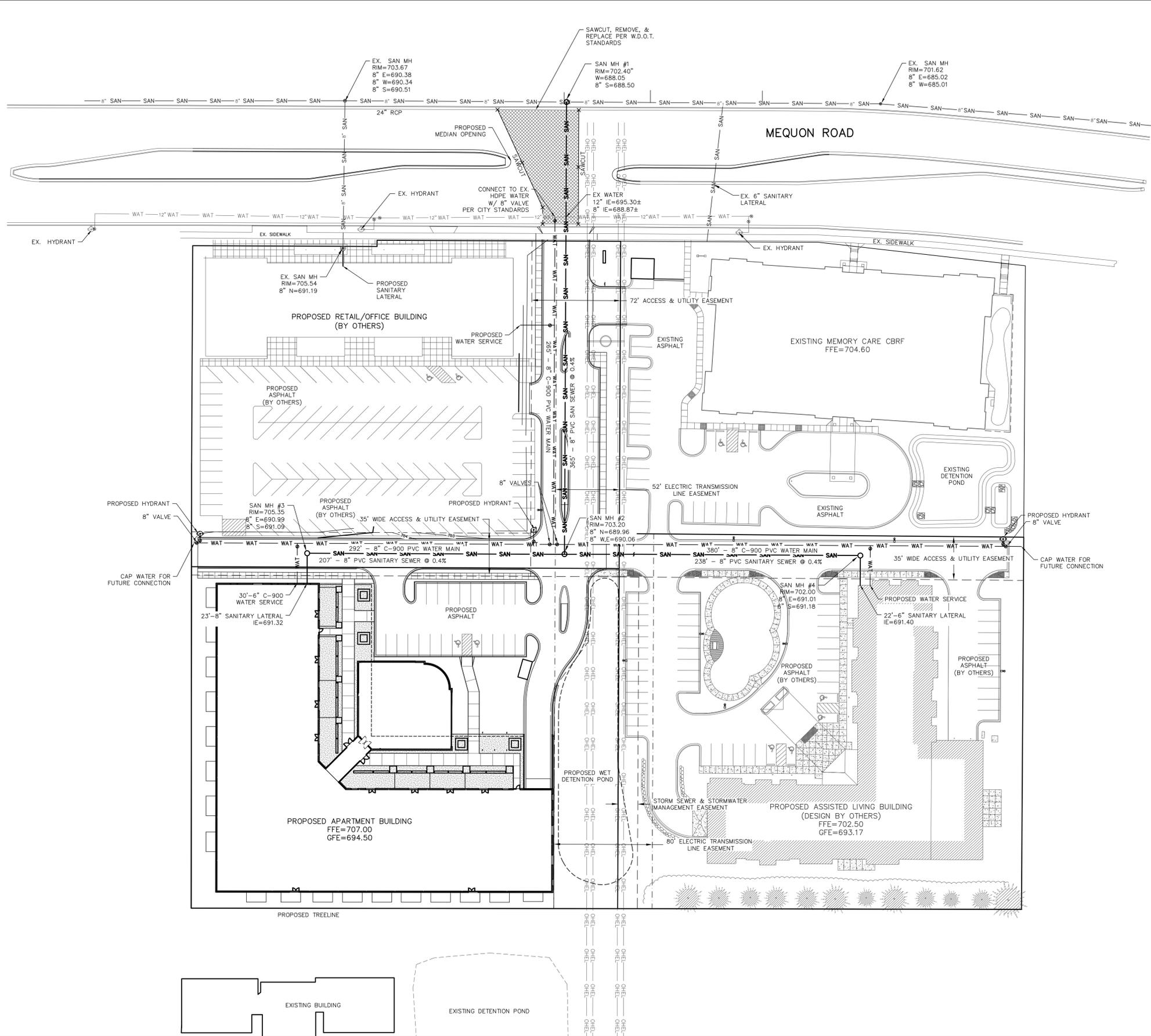


MEQUON TOWN CENTER
OVERALL GRADING AND EROSION CONTROL PLAN
DATED: JANUARY 11, 2016

C-107

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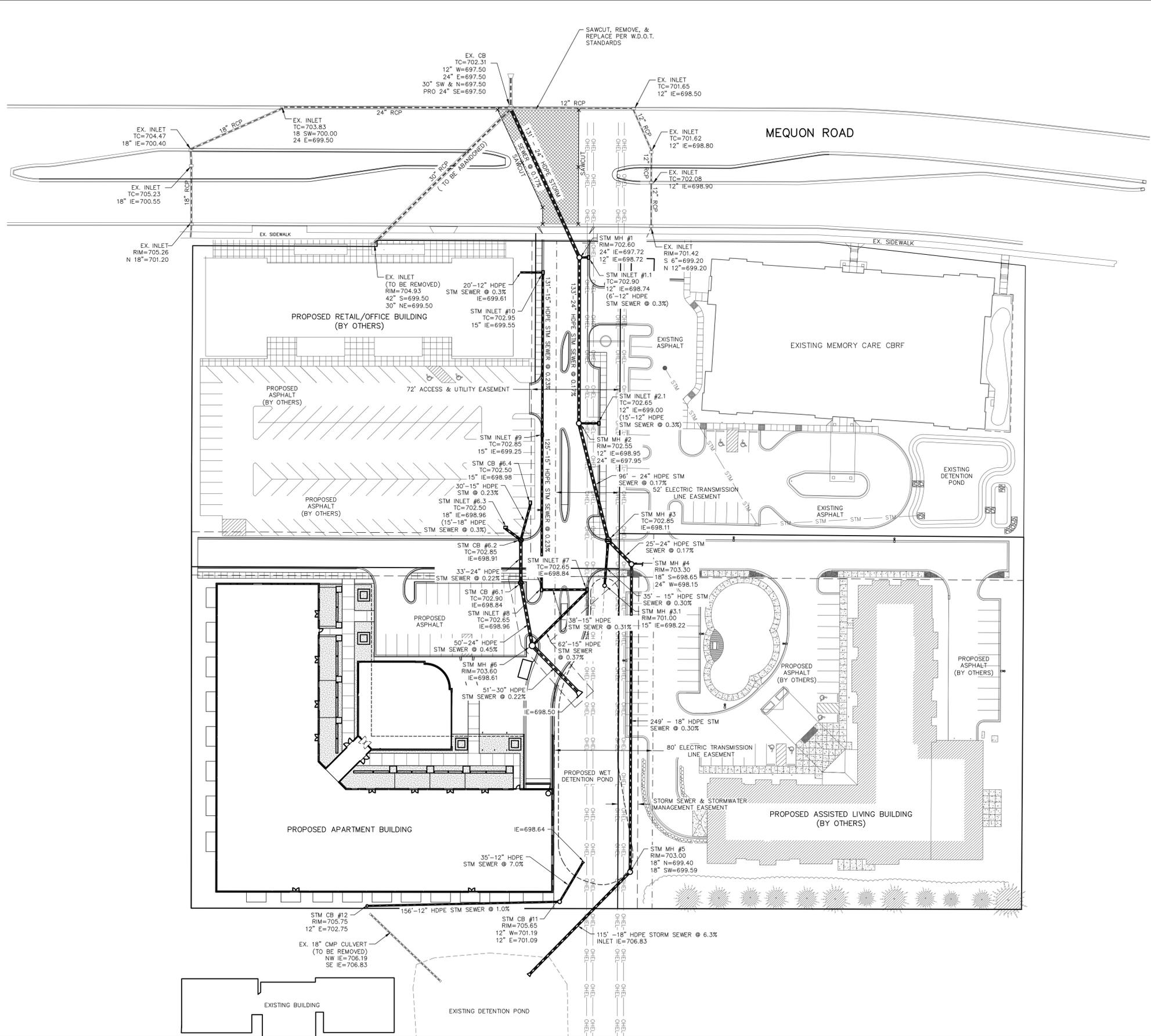
UTILITY NOTES:

- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MEQUON AND WISCONSIN DSPS STANDARDS.
- THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
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MEQUON TOWN CENTER
 OVERALL SANITARY SEWER & WATER MAIN PLAN
 DATED: JANUARY 11, 2016
C-108

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 Residential and Commercial Site Design Consultants

544 South Main Street, Suite B; West Bend, Wisconsin 53095
 Phone (262) 338-6641; www.quamengineering.com



MEQUON TOWN CENTER
 OVERALL STORM SEWER PLAN
 DATED: JANUARY 11, 2016

C-109

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

544 South Main Street, Suite B; West Bend, Wisconsin 53095
 Phone (262) 338-6641; www.quamengineering.com

January 26, 2016

Ms. Kim Tollefson, Dir. of Community Development
11333 N. Cedarburg Road 60W
Mequon, WI 53092-1930

Dear Ms. Tollefson:

I appreciate the opportunity to assist the City of Mequon with planning & architectural review services. The following is a review of the landscape submittal for the development of Town Center Apartments, located in the PUD proposal located at 6729 W. Mequon Rd. This is the first review of the landscape plans. The submittal date of the plan set is 01/11/16. The Landscape plans were submitted by QUAM Engineering. The plan does not list a Wisconsin licensed Landscape Architect as the plan designer.

The site is part of the "Town Center" zoning and design requirements/considerations. The nature of this review will be to assess the landscape plan for completeness; address appropriateness of design for the site/location and how the plant palette addresses the Planning Commission's request for consistent application of landscape design standards, greater buffering and consistent site aesthetic treatments throughout the Town Center PUD.

➤ **General Overview:**

- ❖ This review pertains to a single sheet C-105, labeled "Landscape Plan". The proposed PUD use will be mixed commercial/Assisted Living/High Density Residential (Apartments); the proposed application will be required to demonstrate sensitivity to a number of pre-existing uses/conditions, including: adjacent proposed uses of the PUD; Town Center/PUD zoning, Interior Private Drives, fully developing a pedestrian walkway network, addressing removal of the site's existing trees, interior site buffering, parking buffering, signage, and lighting.
- ❖ The plan **is not** sealed by a Wisconsin RLA, as required by City code.
- ❖ The landscape plan set provides a single site plan sheet at a 1"=20' scale. The plan sheet is clean and the information is easily discernable. Although, the plan fails to note the proposed structures, locate proposed signs, site lighting or the refuse/recycle structure/area.
 - Sustainability: This application has given no consideration to sustainable site practices. This application could include: a rain garden or planned Bio-Swales, ect.
 - The plan does not depict the location of a business sign.
 - The location of the refuse/recycle is required. The plan shall provide design context supporting there is architectural treatment and, landscaping to mitigate/buffer the impact of the RR area.

- The plan provides a plant schedules with symbols, common name, root conditions of plants specified, size specified and the total quantities, as required by code. The plant schedule is required by code to also provide the scientific name and cultivar designation. Common names like “Weeping Cherry” or “Dwarf Procumbens Juniper” represents 100’s of different plants. Each of these plants have a diverse array of growth characteristics and ability to perform in local soils. Without the scientific and the cultivar designation, the plant list provided is at best, a loose outline. Amend the Plant schedule to meet City of Mequon’s Plant schedule requirements.
- See review below for the plant schedule commentary.
- Parking lots: See below for the P-Lot buffer planting comments.

Landscape Material Review:

- **Outline of the proposed plant types and quantities found on the plan:**
 - ◆ I would request the Planning Commission and City Staff ask for incorporation of a full pallet of zone appropriate deciduous & conifers: trees and shrubs, as well as, perennials, bulbs, corms, and ornamental grasses.
 - ◆ The species proposed have the ability to perform in the local soils.
 - ◆ TURF: The Plan fails to address TURF. Sod requires less establishment time and may help with meeting the site requirements. The designer shall list the total SYD turf/sod quantity on the plan.
 - ◆ Prairie Area: The code requires the seed, nurse crop, fertilizer, soil preparation, schedule/timing, application/installation, watering and over-seeding specifications. Previously, the city of Mequon has been lax in their plan requirements for prairie installations and a large proportion of them have failed and, or been abandoned due to lack of stipulated requirements. Prairie development requires three full seasons of maintenance and ongoing installation support. Without a comprehensive plan in place, I would recommend the installation of a perennial garden, using a combination of potted perennials, corms, bulbs and decorative grasses.

➤ *Plant Schedule Comments:*

1. Revisions to the plan shall include:

1) Add the note (All plantings shall conform to caliper/height requirements established by Ansi Z160).

2) revise the plant schedule to the following size standards:

➤ Deciduous Trees(both climax and low deciduous) – 3.0” caliper measured 16” above the rootball. (This is a requirement for all trees)

- Burr Oaks – incredibly majestic climax trees. Unfortunately, they barely provide any growth for the first 20-25 years of planting. Also, they are very tough to establish. The ultimate growth pattern of Burr Oaks is 100+ wide by 100’ height; I question that a plant with that height characteristic would be allowed to be

placed in an Electric ROW. There are a lot of other trees with faster growth characteristics that may provide greater visual impact, in less time.

- River Birch – nice tree, displays urban tolerance, but not tolerance to high heat situations. As long as the tree is not mid P-lot it should be OK. It will be a “at risk” selection.
- English Oak –*Quercus robur* – Per Dirr/Hasselkuss PhD., not a very soil tolerant species, they do not like high clay soils....like we have in Mequon. It will be an “at risk” plant selection.
- Conifer Trees – Minimally 7’ height. Including the Black Hills Spruce.
 - The Black Hills Spruce -*Picea glauca* ‘densata’ is a very nice plant and does well in the Mequon environs, but the tree’s natural growth is limited to an ultimate 20’ height...most will climax at 15 feet. Too many local evergreen nurseries have a diverse array of conifers that are more suitable to provide screening/buffer characteristics, including Green Spruce and Blue Spruce. I would recommend retaining the Black Hills Spruce for use as specimen statements – these make for a great human scale plant, but I would also use/add a couple of taller species. Considering the proposed apartment building will have a finished height of 32-40feet, it is appropriate to provide conifer trees with equal height capabilities. Also, the planting pattern shown for the Black Hills Spruce will not provide much buffering/opacity. Again. Conifers with larger spread characteristics would be more effective.
 - Russian cypress – A very attractive evergreen shrub, but they do not like low drainage soils. They will be at risk in Mequon.

➤ ***Planting Zone Comments:***

- The submittal is organized and provides the following: 1. Street Frontage Zone; 2. Parking Lot Interior Zone; 3. Parking Lot Periphery Buffer; 4. Property Line Buffer Yard; 5. On-Lot Zone; 6. Open Space Zone; 7. Detention Basin; 8. Loading Dock Buffer
- **Street Frontage Zone:**
 - Code requires 1 tree per each side of/30 feet of CL length.
 - North PL Access Drive: Tree Density along the ROW is great, the actual terrace/ area proposed to support the tree is nonexistent.
 - **The proposal’s tree density is good. The terrace to support the trees needs to be revised.** (Proposed street tree density is good, terrace width fails to meet requirements.... it may be inadequate to support trees)
- **Parking Lot Interior Zone.** A) Parking lot Interior landscaping equals about 5% of the parking paved area. B) The overall landscaping **will** provide 30% shade over parking/bituminous areas. (Plan meets the proposed requirement.)

- **Parking Lot Periphery Buffer:** Proposed code requires 1 tree per 25 linear feet of parking adjacent to ROW (not counting street trees). The design fails to provide adequate separation between the Street BOC and the P-lot BOC to support this requirement. Nor does the plan layout provide access to terrace area for snow storage, without impacting planting areas. (Fails to meet the proposed requirement, decision per City Staff /P&Z.)
- **Property Line Buffer:** Per proposed code requirements, this proposal **has not started** to adequately address PL buffering. The use of a single row of flowering crabtrees is inadequate. The adjacent South, Southwest and West developments have not been fully addresses addressed (Please see the separate commentary on the use of Black Hills Spruce to meet buffering requirements). This plan needs to clearly articulate how it is going to create a year round opaque buffer. Traditionally, this type of buffer is a 25-30' planning zone that addresses all three planning horizons. For the PUD commercial/business to the north and east, for the purposes of this review were considered complimentary uses and do not require buffering, other than what is required to address the p-lot. (Fails to meet the proposed requirement.)
- **On-Lot Zone:** Required- 1 Tree & 2 shrubs per every 1000 SF of required open space. (Meets the proposed requirement.)
- **Foundation Plantings:** The plan fails to adequately address a building of this scale. (Fails to Meet the proposed requirement.) a 1.5'-2' wide, linear planter with 8 hermocallis spaced every 20 feet is inadequate, sparse and fails to recognize the scale of the building a mere 15' away. I would request the revision of this design.
- **Trash Enclosure:** See statement above. (It is undetermined if meets the new code requirements; Enforcement is per staff & P&Z Board decision.)

❖ ***Additional Landscape Observations:***

- It is this reviewer's opinion, the plan fails to address the Mequon Town Center's landscaping intent. As one of Mequon's targeted developmental corridors, the Planning Commission has required additional Landscaping treatments in these zones, not less. Also, the application should incorporate a developed plant pallet, so the landscaping that will address all 3 plant horizons. The pallet should include additional selections of deciduous/conifer trees and shrubs, as well as, additional selections of: perennials, bulbs, corms, and ornamental grasses. Also, application the designer should leverage the revised plant pallet to create a 4 season design. The current submittal falls short of the "Town Center" concept; In fact, this application falls short of a traditional commercial application coming in front of the P&Z.
- I request for the P&Z commission and, or City staff to require the proposed no/ low maintenance landscape design presented to be amended. No/low maintenance plans traditionally fails to provide the visual "pop" a site within the TC corridor deserves. The plan fails to provide the anticipated density of perennial plantings, flower bed concentrations or the incorporation of ornamental grasses.
- The Plant Schedule fails to meet the City's Landscape Code and shall be amended, including:

- The stipulate tree size shall specify that **all deciduous & deciduous ornamental trees** to have a 3.0 inch caliper 16” above the root ball.
- All Conifer trees shall have a min height of 7’ from top of root ball, at planting.
- Provide the following note in the Schedule – “Per ANSI z 60.1, the plantings shall meet height equivalency consistent of the stated caliper”.

Planting instruction/commentary: Trees selected may meet caliper requirements, but failing to meet height requirements, or root ball size requirements will be rejected by the city. Clump form trees shall meet the equivalency requirements between the height and caliper. Ex: Per ANSI z 60.1, a 10-12’ tree is only equivalent to a 2.0” caliper tree. This reviewer recognizes that Ornamental trees may be display natural limiting height characteristics, the designer shall specify and, or select sizes that closest represents a 3.0” Caliper. The City of Mequon retains the right to reject trees for cause.

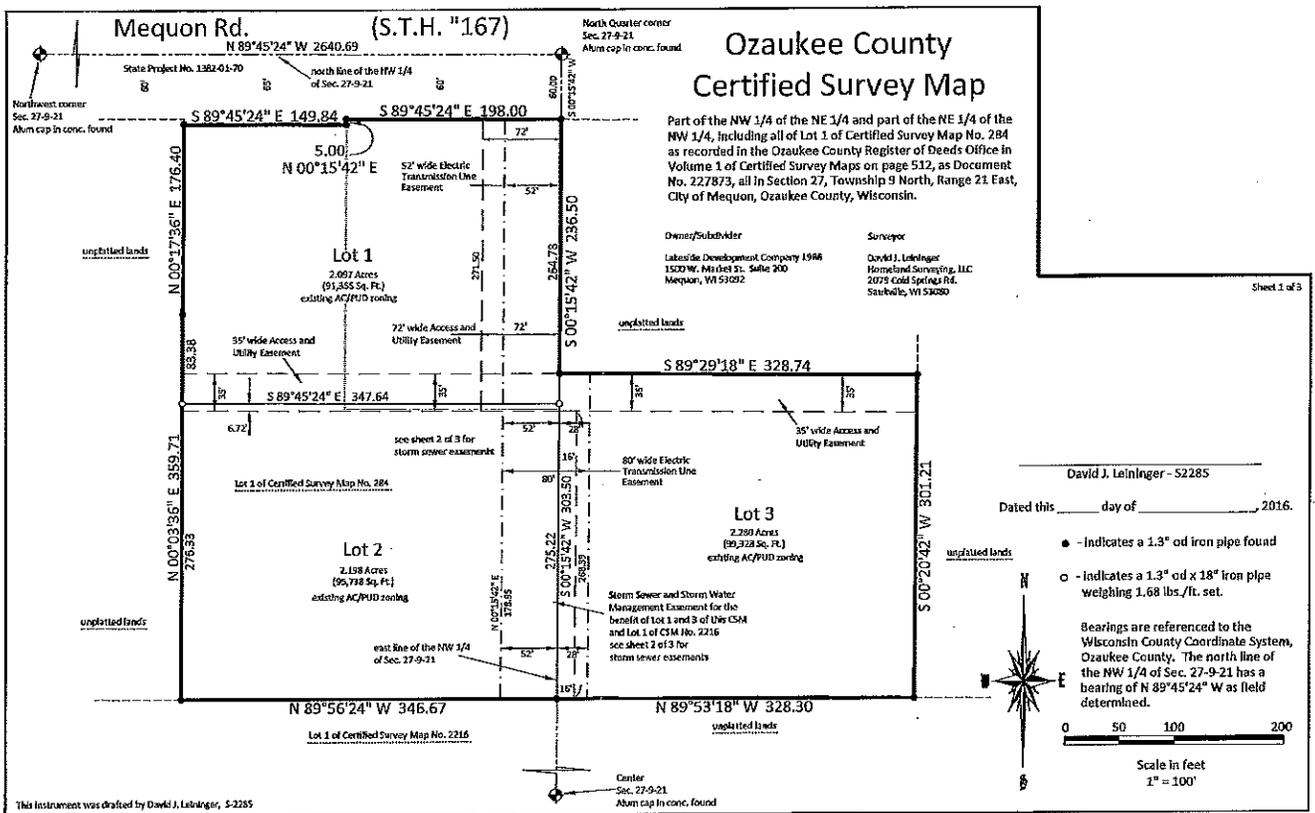
While the application is for a High Density Residential development, the plan equally meets, as well as, fails to meet the standard of care established for commercial development or the Town Center PUD landscaping standards in the City of Mequon. This concludes the landscape review of the Town Center Apartments Landscape submission.

I hope planning staff and the commission finds the information presented and recommendations useful.

Sincerely,

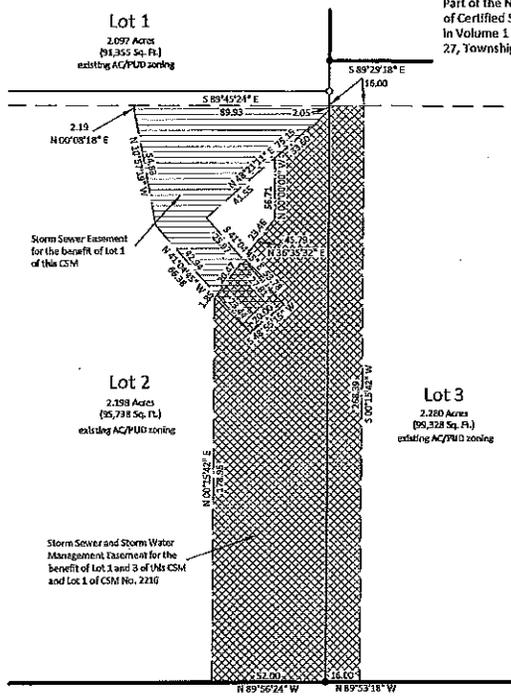


M. Terry Higgins, RLA, AICP, PMP, MBA



Storm Sewer Easements Detail

Scale: 1" = 50'



Ozaukee County Certified Survey Map

Part of the NW 1/4 of the NE 1/4 and part of the NE 1/4 of the NW 1/4, including all of Lot 1 of Certified Survey Map No. 284 as recorded in the Ozaukee County Register of Deeds Office in Volume 1 of Certified Survey Maps on page 512, as Document No. 227873, all in Section 27, Township 9 North, Range 21 East, City of Mequon, Ozaukee County, Wisconsin.

Surveyor's Certificate:

I, David J. Leininger, professional land surveyor, hereby certify that by the direction of Lakeside Development Company 1986, that I have surveyed, divided and mapped the land shown and described hereon, being part of the NW 1/4 of the NE 1/4 and part of the NE 1/4 of the NW 1/4, including all of Lot 1 of Certified Survey Map No. 284 as recorded in the Ozaukee County Register of Deeds Office in Volume 1 of Certified Survey Maps on page 512, as Document No. 227873, all in Section 27, Township 9 North, Range 21 East, City of Mequon, Ozaukee County, Wisconsin, which is bounded and described as follows:

Commencing at the northwest corner of said Section 27; thence S 89°45'24" E, along the north line of said NW 1/4, 2640.69 feet to the north quarter corner of said Section 27; thence S 00°15'42" W, 60.00 feet to a point in south right of way line of S.T.H. "167, being the point of beginning of lands herein described; thence continuing S 00°15'42" W, 236.50 feet; thence S 89°29'18" E, 328.74 feet; thence S 00°20'42" W, 301.21 feet; thence N 89°53'18" W, 328.39 feet to the northwest corner of Lot 1 of Certified Survey Map No. 2216; thence N 89°56'24" W, along the north line of said Lot 1 of Certified Survey Map No. 2216, 346.67 feet; thence N 00°03'36" E, along the west line of said Lot 1 of Certified Survey Map No. 284, 359.71 feet; thence N 00°17'36" E, continuing along said west line of Lot 1, 176.40 feet to a point in said south right of way line of S.T.H. "167"; thence S 89°45'24" E, along said south right of way line, 149.84 feet; thence N 00°15'42" E, 5.00 feet; thence S 89°45'24" E, continuing along said south right of way line, 198.00 feet to the point of beginning.

Containing 6.575 acres (286,421 square feet) more or less.

I further certify that I have fully complied with the provisions of sec. 236.34 of Wisconsin Statutes and the City of Mequon Land Division Ordinance in surveying, dividing, and mapping said land, and that this map is a correct representation of the exterior boundaries of the land surveyed and the division of said lands.

Dated this _____ day of _____, 2016.

David J. Leininger, S-2285

Ozaukee County Certified Survey Map

Part of the NW 1/4 of the NE 1/4 and part of the NE 1/4 of the NW 1/4, including all of Lot 1 of Certified Survey Map No. 284 as recorded in the Ozaukee County Register of Deeds Office in Volume 1 of Certified Survey Maps on page 512, as Document No. 227873, all in Section 27, Township 9 North, Range 21 East, City of Mequon, Ozaukee County, Wisconsin.

Owner's Certificate:

As CEO and President of Lakeside Development Company 1986, we hereby certify that we caused the land shown and described herein to be surveyed, divided, and mapped as represented on this Certified Survey Map. We also certify that this Certified Survey Map is required to be submitted to the following for approval:

City of Mequon

Scott Humber - CEO

Tom Zabjek - President

STATE OF WISCONSIN)
OZAUKEE COUNTY)s.s.

Personally come before me this _____ day of _____, 2016, the above named CEO and President of Lakeside Development Company 1986 are to me known to be the same persons who executed the foregoing instrument and acknowledge the same.

(Notary Seal) _____, Notary Public, _____, Wisconsin.

My commission expires _____

City of Mequon Plan Commission Approval:

This land division is hereby approved by the City of Mequon Plan Commission as being in conformance with the City of Mequon Subdivision Ordinance this _____ day of _____, 2016.

Dan Abendroth - Mayor

- Secretary

David J. Leininger - S2285

Dated this _____ day of _____, 2016.

--	--	--

CONDITIONAL USE GRANT

Articles of Agreement made and entered into this 8th day of February 2016, by and between _____ owners of the property located at _____ and the City of Mequon Planning Commission.

Before the Planning Commission of the City of Mequon, Ozaukee County, Wisconsin, in regard to the premise located in Section __, Range 21 East, in Township 9 North, Ozaukee County, State of Wisconsin, further described as follows:

LEGAL DESCRIPTION

Exhibit A-1

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statues, provide that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the Planning Commission of the City of Mequon having determined that by reason of the particular nature, character, and circumstances of the proposed use, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, **IT IS GRANTED**, subject to compliance with the terms and conditions hereinafter stated that the Premises may be used for the purpose of three story apartment.

GRANTED by action of the Planning Commission of the City of Mequon this 8th day of February 2016.

Dan Abendroth, Mayor, Planning Commission Chairperson

Acknowledgment:

STATE OF WISCONSIN)

)SS

OZAUKEE COUNTY)

Personally came before me, this ____ day of _____, 2016, the above named Dan Abendroth, Mayor, to me known to be the person who executed the foregoing instrument and acknowledged the same.

 Notary Public, Ozaukee County, Wisconsin
 My Commission (expires) _____

Planning Commission Secretary

Acknowledgment:

STATE OF WISCONSIN)

)SS

OZAUKEE COUNTY)

Personally came before me, this ____ day of _____, 2016, the above named _____, Planning Commission Secretary, to me known to be the person who executed the foregoing instrument and acknowledged the same.

 Notary Public, Ozaukee County, Wisconsin
 My Commission (expires) _____

RETURN TO:

City of Mequon
 11333 North Cedarburg Road 60W
 Mequon, WI 53092

PARCEL NO.:

Conditional Use Grant

The **CONDITIONS** of this Grant are:

1. This grant shall become effective upon the execution and recording by the owners and operators of the Premises of an acceptance hercof in such form as to constitute an effective covenant running with the land.
2. This grant shall expire and become void unless, pursuant to the building and zoning codes of the City, the approved use is commenced or the building permit is obtained within twelve (12) months of the date of Planning Commission approval noted above, or actual construction is commenced within twelve (12) months of the date on which the building permit was issued.
3. This grant is subject to amendment and termination in accordance with the provisions of the Zoning Code of this municipality.
4. Construction and operation of the use granted shall be in strict conformity to the approved site, building, and operations plans filed in connection with the Petition for this Grant, and annexed hereto.
5. Any of the conditions of this Grant which would normally be the responsibility of tenants of the Premises shall be made a part of their lease by the Owner, which lease shall contain provisions for posting of the pertinent conditions to notify employees thereof.
6. This grant shall automatically be null and void if this use is discontinued for a period of twelve (12) months.
7. The Grantee and its successors in interest shall hold the City of Mequon harmless from any claims or losses to the City or its residents including reasonable attorney fees arising from or related to use of the facilities.
8. Any change to the approved use or change to the building or site plan will require an amendment to the Conditional Use. Minor changes to the building and site plan shall be approved by the Department of Community Development.
9. **Conditions on the Operations:**
 - a. Hours of operation: 24 hours
 - b. Performance standards relating to parking, noise, vibration, odor, smoke, dust, and light: As per City ordinance and as further designated under letter (e.) below.
 - c. Water supply requirements:
City Water
 - d. Provisions for sewage disposal:
City Sewer
 - e. Other:
 - If the conditional use shall become hazardous, harmful, noxious, offensive or a nuisance to the surrounding neighborhood, or if material problems shall arise with respect to noise, traffic circulation, ingress and egress, parking, unenclosed storage, lighting, maintenance, or any other condition which shall materially threaten health or safety or to become a nuisance condition, the Grantee shall correct or improve such condition, and toward that end, the Planning Commission, after public hearing, may alter, amend or add reasonable additional Conditional User Grant conditions in order to ameliorate such effects, or in the case of violation of the Conditional Use Permit, may revoke the Conditional Use Grant.
 - If, despite efforts to prescribe conditions which render the conditional use harmonious in the surrounding neighborhood, problems shall arise with respect to noise, traffic circulation, ingress and egress, parking, unenclosed storage, lighting, maintenance, or any other condition which shall materially threaten the peace and enjoyment of neighboring properties, or shall become hazardous, harmful, noxious, offensive or a nuisance to the surrounding neighborhood, or shall threaten health or safety, the Grantee shall correct or improve such condition, and toward that end, the Planning Commission, after public hearing, may alter, amend or add reasonable additional Conditional User Grant conditions in order to ameliorate such effects, and in the case of violation of the Conditional Use Permit, may revoke the Conditional Use Grant.
10. **Conditions of the structures:**
 - a. Site Plan: As per attached Exhibit A
 - b. Landscaping Plan: As per attached Exhibit B.
 - c. Elevations: As per attached Exhibit C.
 - d. Sign: As on file with Community Development Department, City of Mequon
 - e. Floor Plan: As on file with Community Development Department, City of Mequon
 - f. Exterior lighting of the site and building: As per Exhibit A
 - g. Fence / Wall / Dumpster plan details: As per Exhibit A
 - h. The building shall comply with the building code.

Conditional Use Grant

11. **Conditions on the site:**
- a. Street access (number, location, design): As per attached Exhibit A
 - b. Off-Street Parking (location and design including screening thereof): As per attached Exhibit A.
 - c. Outside storage of materials, products or refuse (location and screening thereof): As per attached Exhibit A
 - d. Parking, exterior lighting of the site, location design and power:
Any changes subject to Planning Commission approval.
 - e. Other:

Owner

Acknowledgment:

STATE OF WISCONSIN)

)SS

OZAUKEE COUNTY)

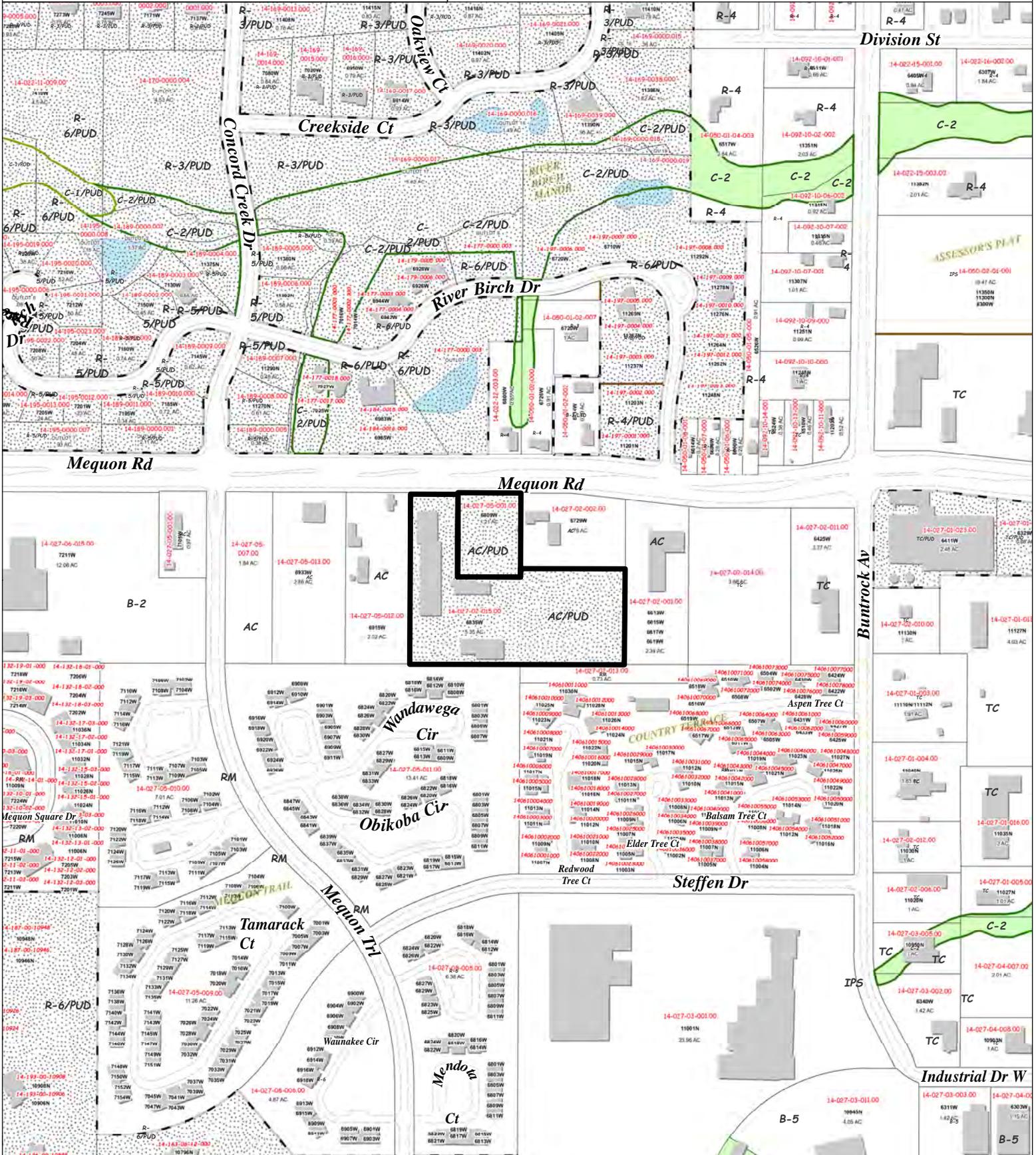
Personally came before me, this ____ day of _____, 2016, the above named _____, Owner, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Ozaukee County, Wisconsin

Receipt of a true Copy of this instrument
on behalf of the petitioner acknowledged
the _____ day of _____, 2016

ITEM #5 - Robert Niebauer for Lakeside Development

AC	Arrival Corridor	LTD	Limited Use
A-1	Agricultural Preserve	OA	Agricultural Overlay
A-2	General Agricultural	PUD	Planned Unit Development Overlay
B-1	Neighborhood Business	P-1	Park & Recreation
B-2	Community Business	R-1	Single-Family Residential (5 Ac. Min.)
B-3	Office & Service Business	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-4	Business Park	R-2	Single-Family Residential (2.0 Ac. Min.)
B-5	Light Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-6	Rural Industrial	R-3	Single-Family Residential (1.0 Ac. Min.)
B-7	Rural Business	R-4	Single-Family Residential (3/4 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
C-2	General Conservancy	R-6	Single-Family Residential (4 du/Ac)
CGO	Central Growth Overlay	RM	Multi-Family Residential
FFO	Flood Fringe Overlay	TC	Town Center
FW	Floodway	TDR	Transfer of Development Rights
IPS	Institutional & Public Service		



STAFF REPORT

To: Mequon Planning Commission

Prepared by: Jac Zader

Agenda Item: **5**

Date: February 8, 2016

General Information:

Applicant:

Lakeside Development
Bob Niebauer

Status of Applicant:

Owner
Offer to Purchase

Requested Action:

Conditional Use Grant
Building and Site Plan

Existing Zoning:

AC (Arrival Corridor)
PUD (Planned Unit
Development)

Proposed Zoning:

AC (Arrival Corridor)
PUD (Planned Unit
Development)

Land Use Plan:

Town Center (TC)

Lot Size:

8.3 Acres

Location:

6729/6809/6835 W Mequon
Road

Background:

The applicant requests Conditional Use Grant and Building/Site Plan approval for a three story, 60 unit RCAC (resident care apartment complex) at 6729/6809/6835 W Mequon Road. The applicant appeared in front of the Planning Commission for a rezoning recommendation (PUD) in November of 2015 and received Common Council approval in December of 2015 (Ordinance #2015-1460).

Compliance with PUD:

The proposed plan for the 60 unit RCAC is substantially compliant with the approved concept plan and PUD Ordinance. The maximum allowable FAR for the entire development was approved at 66% which exceeds the 50% FAR requirement in the AC zoning district.

STAFF REPORT

Land Use Plan and Arrival Corridor (AC) District Standards:

The Land Use Plan map designates the site Town Center and the zoning district Arrival Corridor (AC). The following table compares the proposed plan to the AC district standards:

District Regulations:	AC:	Proposed Use:
Minimum Lot Area:	1 acres	8.3 acres
Maximum FAR Total Site:	50%	66%
Maximum Greenspace Total Site:	30%	32%
Building North Side Offset:	10 feet	35 feet
Building East Side Offset:	10 feet	32 feet
Building West Side Offset:	10 feet	75 feet
Building South Side Offset:	10 feet	35 feet
Minimum Parking Offset East:	10 feet	18feet
Off-Street Parking RCAC:	71 stalls	86 stalls
Total Parking Stalls:	383 stalls	384 stalls
Maximum Density Total Site:	146 units	141 units

Site Plan:

Overall, the site plan is consistent with the concept plan that was approved as part of the PUD rezoning. The plan shows the three story building located on the southeast end of the site with access from the shared driveway. Based on feedback from the December Common Council meeting, the applicant has shifted the building to the north in order to provide a larger buffer to the existing residential development to the south. By shifting the building, the grass terrace area between the sidewalk and the road has been removed. In order to provide a location for street trees and be consistent with the apartment development to the west, staff is recommending that the three foot grass terrace area be added back into the plan. With the current 35 foot offset that exists between the building there is ample room to relocate the building without impacting the existing trees or encroaching on the required 10 foot offset.

The site contains 53 surface parking stalls and 34 below-grade parking stalls. There will also be a shared parking agreement among the four property owners to handle any over flow parking. There is a storm water pond located in the center of the site that will be shared between three of the parcels in the development. The existing memory care currently has a storm water pond that addresses their needs. The plan includes sidewalks that will connect to other parcels within the development as well as adjacent parcels to the east and west. Staff will require both the sidewalk and access road be extended to the east property line.

Building Plan:

The building design has been modified based on feedback from staff, the Planning Commission, and the Common Council. The updated plan does a much better job of transitioning from the different materials shown on the building. Overall, the color palette has been modified to a more earth tone color palette that is compatible with the memory care facility on the adjacent parcel. Staff is supportive of the current plan and does not recommend any additional changes.

STAFF REPORT

Conditional Use Grant:

Since the structure exceeds 2.5 stories in height, the project requires conditional use grant approval. The applicant has provided a shadow line study to show the impact of the increased height on the surrounding residential properties (see attached). The results of the study show no impact of shadowing on the adjacent parcels.

Landscaping Plan:

The plan was submitted to the city's landscape architect consultant, Terry Higgins, for review and comment. Based on his review, staff will require the applicant resubmit the plan with the following changes:

- All trees shall have a minimum 3" caliper.
- The parking lot 30% shading requirement shall be complied with.
- Street trees shall be added to the north and south of the access road spaced 40 feet on center for the length of the development.

Lighting:

The applicant has submitted a lighting plan that shows 20 foot parking lot light poles, wall packs and recessed canopy lights. The parking lot light poles are similar to what is being used at the memory care facility as well as what is being proposed for the apartment building. The entranceway lighting includes the same light fixture used along Cedarburg Road for the Town Center. These lights are also shown on the west portion of the road that runs through the middle of the development. Staff recommends that the TC light is also used along the east section of the road replacing the fixtures labeled S1 on the plan. All the fixtures being proposed are dark sky friendly in accordance with the lighting code. The dispersion plan submitted for the proposed development shows light trespass levels in compliance with the lighting code with the exception of the following:

- Parking lot exceeds two foot-candle average.
- Light trespass at the east parking area exceeds .05 Fc
- Exit discharge lighting on the south elevation of the building exceeds 1.5 Fc

Staff will require the applicant submit an updated lighting plan that addresses these issues as a condition of approval.

Site Conditions:

The City Forester walked the site and determined that no specimen trees were present on the site. He did identify a stand of spruce trees along the south property line. It is his recommendation that tree protection fencing shall be installed at the drip line during the construction process (see memo).

Engineering Report:

James Keegan, Deputy Director of Engineering, has reviewed the application and has the following comments:

STAFF REPORT

Access is provided through a proposed roadway connection onto Mequon Road (STH167) via a shared access point with two adjacent proposed developments and the recently constructed Aster Memory Care. The proposed access point will be located at the center of the combined parcels and will run parallel to the ATC transmission lines. The combined access point will require that the median opening be relocated to the east. Any changes to access will require the approval of the Wisconsin Department of Transportation (WisDOT). As the four parcels will utilize a single access point via a shared access roadway, an Ingress/Egress Easement and Shared Maintenance Agreement will be required for the access roadway and storm sewer system. All three parcels will be served by public sanitary sewer, public water service and storm sewer extensions that will be made within the footprint of the proposed shared access roadway as a part of this overall development.

The geometric layout of the access roadway and parking areas shall be designed so that access is provided for all emergency services vehicles and the largest design vehicle that will be utilizing the roadway. Intersection curb returns shall be designed to allow for emergency vehicles, but shall default to a minimum of 15' to the back of curb in locations that allow.

The site is located within the City's sewer service area and connection to the public utility is required. As a new development and as a condition of approval, the development must connect to the public water main. The site plan shows the water and sanitary sewer connections being made to the public main extensions located within the access roadway. A water services agreement and water easement will be required for the public water main extension. A sanitary sewer easement will be required for the public main extension.

The combined site proposes an increase in impervious surface in excess of one half acre and therefore requires a storm water management plan (SWMP). The SWMP must be approved by the City and MMSD. The site plan proposes storm water facilities located on site. There are two locations proposed for storm water facilities, the larger of the two located at the center of the parking lot, and a second located to the east of the building. A Storm Water Facilities Maintenance and Easement Declaration & Agreement will be required.

The site proposes land disturbance in excess of one acre, therefore a City erosion control permit is required. Evidence of the WDNR required WRAPP permit shall also be provided for the site.

Staff Recommendation: Planning staff recommends **approval** of the conditional use grant, building and site plan and specimen tree removal subject to the following conditions:

1. Staff review and approval of all site, building, landscaping, lighting and elevation plans.
2. The landscaping plan shall be revised and shall address the following issues:
 - All trees shall have a minimum 3" caliper

STAFF REPORT

- The parking lot 30% shading requirement shall be complied with.
 - Street trees shall be added to the north and south of the access road spaced 40 feet on center for the length of the development.
3. The lighting plan shall be revised and shall address the following issues:
 - Parking lot exceeds two foot-candle average.
 - Light trespass at the east parking area exceeds .05 Fc
 - Exit discharge lighting on the south elevation of the building exceeds 1.5 Fc
 - The TC light fixture is used along the access road replacing the fixtures labeled S1 on the plan
 4. The site plan shall be revised to address the following:
 - Both the sidewalk and access road be extended to the east property line.
 - There shall be a three foot grass terrace area between the access road and the sidewalk for the length of the road.
 5. Staff review and approval of retaining wall and fencing.
 6. Tree protection fencing shall be installed at the drip line of the Spruce trees along the south property line during the construction process
 7. A landscaping escrow equal to 125% of the improvement costs for installation of landscaping by a licensed contractor and an escrow equal to 25% of the landscape contract cost to insure that landscaping that dies within three (3) years of installation will be replaced by the applicant.
 8. All ground-level and roof top mechanical equipment shall be well screened from public view with screening or landscaping.
 9. City Attorney approval of all legal documents including the shared access and maintenance agreement for the shared access roadway.
 10. Connection to public water and sanitary sewer. The applicant shall obtain the necessary approval and permits for the installation of the sanitary sewer and water main from the various regulatory agencies. This will require public main extensions and easements. Water main shall extend to the adjacent properties.
 11. The shared access road will require an Ingress/Egress Easement and Shared Maintenance Agreement between all benefiting parties.
 12. All permanent structures and construction activity that occurs within the ATC Easement will be subject to ATC and OSHA offsets and requirements.
 13. Engineering Department review and approval of the individual grading, drainage, erosion control, water distribution and sanitary sewer plans along with the storm water management plan for conformance to City ordinances and the Standard Specifications for Land Development.
 14. Fire Chief approval of the site access. Intersection radii shall be minimized while allowing for adequate access of emergency vehicles.
 15. Approval of a storm water management plan for the site in conformance to City ordinances and MMSD Chapter 13, including execution of a Storm

STAFF REPORT

Water Facilities Maintenance and Easement Agreement.

16. Application for and approval of a City erosion control permit, subject to applicable fees and conditioned upon WDNR issuance of a WRAPP permit.
17. Execution of a Water Service Agreement between the applicant and the Water Utility subject to applicable fees. The mainline water main shall meet Water Utility standards for ISO recommended fire flows.
18. WisDOT right-of-way permit for any utility or construction work within the right-of-way.
19. Any existing legal documents for the site shall be amended or vacated as appropriate to reflect changes in property ownership and maintenance requirements.
20. As a condition of approval and issuance of the permit, the city engineer will require in accordance with City ordinance 58-677(b) that the applicant deposit an escrow or letter of credit to guarantee a good faith execution of the approved control plan and any permit conditions. The escrow / letter of credit shall be in an amount equal to 125% of the estimated cost of construction and maintenance of the storm water management practices and the City will release the portion of the Financial Guarantee less any costs incurred by the city to complete installation of practices, upon submission of a certification in accordance with 58-678(h).

Prepared By: _____



11333 N. Cedarburg Rd 60W
Mequon, WI 53092-1930
Phone (262) 512-1297
Fax (262) 238-1580

www.ci.mequon.wi.us

Office of the City Forester

MEMORANDUM

SUBJECT: Tree Inspection
ADDRESS: 6729 W. Mequon Rd.
OWNER: Lakeside Development, Bob Bach
DATE: January 27, 2016

Observations:

I, Ken Baker, Mequon City Forester, inspected the site for specimen trees, and there were none. I did notice that there was a nice stand of about (12) 50' spruce that separate the proposed building site and the condominiums to the south.

Recommendation:

I would recommend that the spruce on the property edge be protected from the construction of the building with tree protection fencing and verbiage on signs directing not to disturb the trees. I would recommend the installation of the fencing at least to the drip line of the evergreens and to keep up the fencing until the project is completed.

Thank you,

Ken Baker WI-0286AM

ASTER RETIREMENT COMMUNITY OF MEQUON

PROJECT

Facilities for Senior Citizens providing assistance with daily living activities.

The entire facility will be certified or licensed by the State of Wisconsin as an RCAC.

There will be ~~71~~
60 units.

AMENITIES

Spacious units with several choices of units available from studio to 2 bedroom. All units will have private bathrooms with showers and all units will have full kitchens with stoves and refrigerators.

Commercial kitchen for entire facility.

Community Dining Room for approximately 80 persons.

Pub and Country Store for residents and guests.

Large Lobby and other areas for socializing, Coffee Bar and Mail Boxes.

Areas for waiting for rides and sheltered pick-up and drop-off area.

Front Porch and Outdoor gathering/barbecue area.

Community and Meeting spaces.

Spa with Beauty/Barber Salon, Assisted Whirlpool Bathing, Therapy Pool, Physical Therapy/Exercise and Exam rooms

Library, Craft rooms, Training rooms and TV room.

Storage Lockers for Residents.

Indoor Parking Spaces.

Indoor Trash area.

PROJECT DESCRIPTION

The facility is sized to meet the needs of frail seniors in the Mequon area, to provide a variety of services to the residents, to provide several levels of care and provide value through efficient operations. It is important to have multiply floors in the facility to reduce the walking distance

from resident rooms to the Dining, Lobby, and other common areas used by the residents. Many residents will be using canes, walkers or other aids for mobility and their travel time will be shortened by the use of elevators.

All residents will be offered 3 meals per day, however for those residents requiring lighter care may take as few as 20 meals per month in the community dining room.

There will be a private dining room available for residents to dine with family and guests if they choose.

All residents will receive bi-weekly housekeeping services and most residents will receive additional services including linen and personal clothing laundry service, medication monitoring, bathing assistance, assistance with dressing and other daily living activities as may be required.

Transportation will be provided for medical visits, shopping and other special outings.

EMPLOYEES

The facility will be staffed 24 hours per day 7 days per week with care givers and support staff.

There will be approximately 40 employees full and part time.

PROJECT VALUE

Estimated to be ~~\$10,700,000~~ including land and site work.

\$ 9,700,000

TRAFFIC

There will be little impact on traffic. Very few residents will drive with any frequency and there will be little if any impact from staff or visitors. There will be no peak period.

LEASES

There are no leases. All residents will be assessed by staff along with family and medical providers and management will be governed by the Tenant Services Agreement. See sample attached.



- ASPHALT SHINGLES - MATCH MEMORY CARE
- SMART SIDING - PAINT SW 7532 URBAN PUTTY
- SMART SIDING - PAINT SW 7734 OLIVE GRAY
- BRICK - MATCH MEMORY CARE
- WHITE VINYL WINDOWS

West Elevation



- ASPHALT SHINGLES - MATCH MEMORY CARE
- SMART SIDING - PAINT SW 7532 URBAN PUTTY
- SMART SIDING - PAINT SW 7734 OLIVE GRAY
- BRICK - MATCH MEMORY CARE
- WHITE VINYL WINDOWS

North Elevation



- ASPHALT SHINGLES - MATCH MEMORY CARE
- SMART SIDING - PAINT SW 7532 URBAN PUTTY
- SMART SIDING - PAINT SW 7734 OLIVE GRAY
- BRICK - MATCH MEMORY CARE
- WHITE VINYL WINDOWS

South Elevation



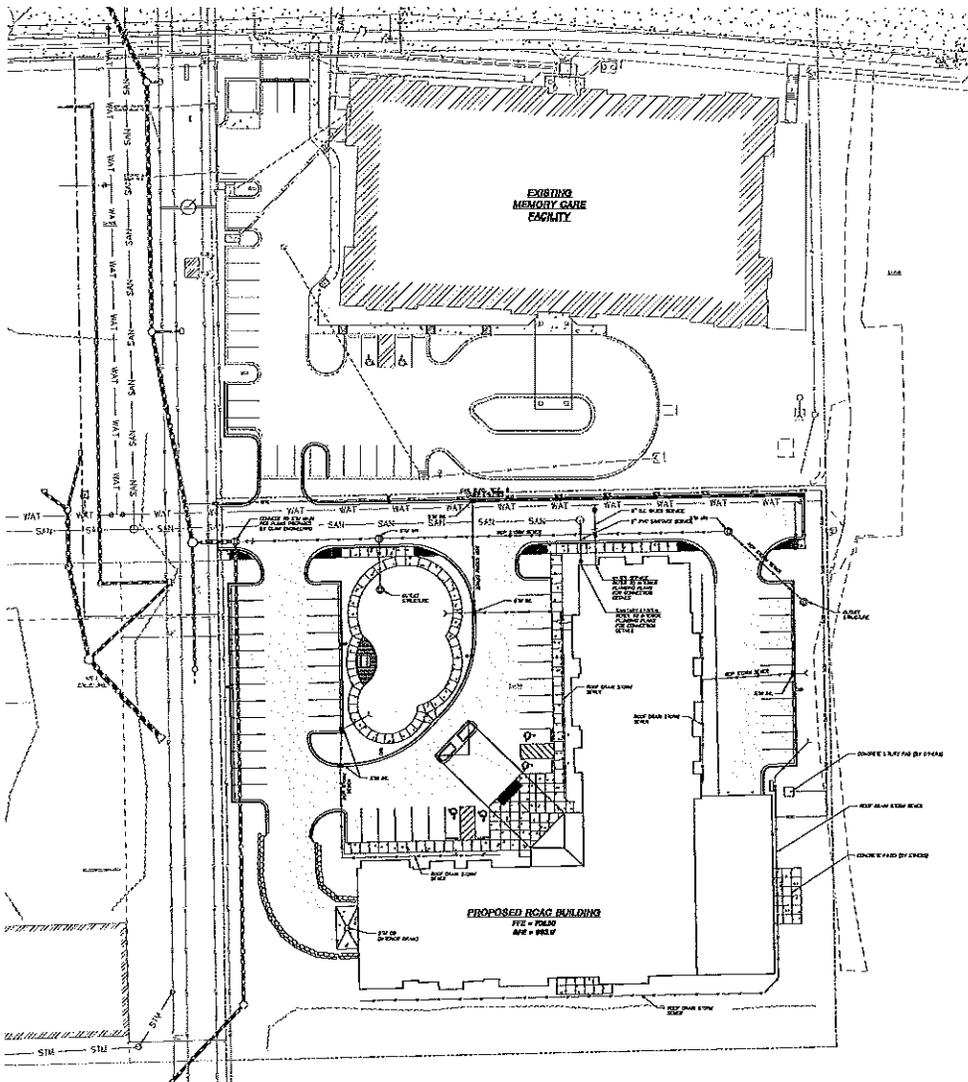
- ASPHALT SHINGLES - MATCH MEMORY CARE
- SMART SIDING - PAINT SW 7532 URBAN PUTTY
- SMART SIDING - PAINT SW 7734 OLIVE GRAY
- BRICK - MATCH MEMORY CARE
- WHITE VINYL WINDOWS

East Elevation









JSD International Building Inc.
 10000 144th Street, Suite 100
 Richmond, BC V6V 2G9
 (604) 273-1111
 www.jsdbuilding.com

LEGEND

EXISTING UTILITY LINE
 PROPOSED UTILITY LINE
 UTILITY DEPTH
 UTILITY SIZE
 UTILITY MATERIAL
 UTILITY LOCATION

- GENERAL NOTES**
1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 2. ALL NEW UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF VANCOUVER DEPARTMENT OF UTILITIES REQUIREMENTS.
 3. ALL NEW UTILITY LINES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 1.8 METERS (6 FEET) UNLESS OTHERWISE SPECIFIED.
 4. ALL NEW UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF VANCOUVER DEPARTMENT OF UTILITIES REQUIREMENTS.
 5. ALL NEW UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF VANCOUVER DEPARTMENT OF UTILITIES REQUIREMENTS.
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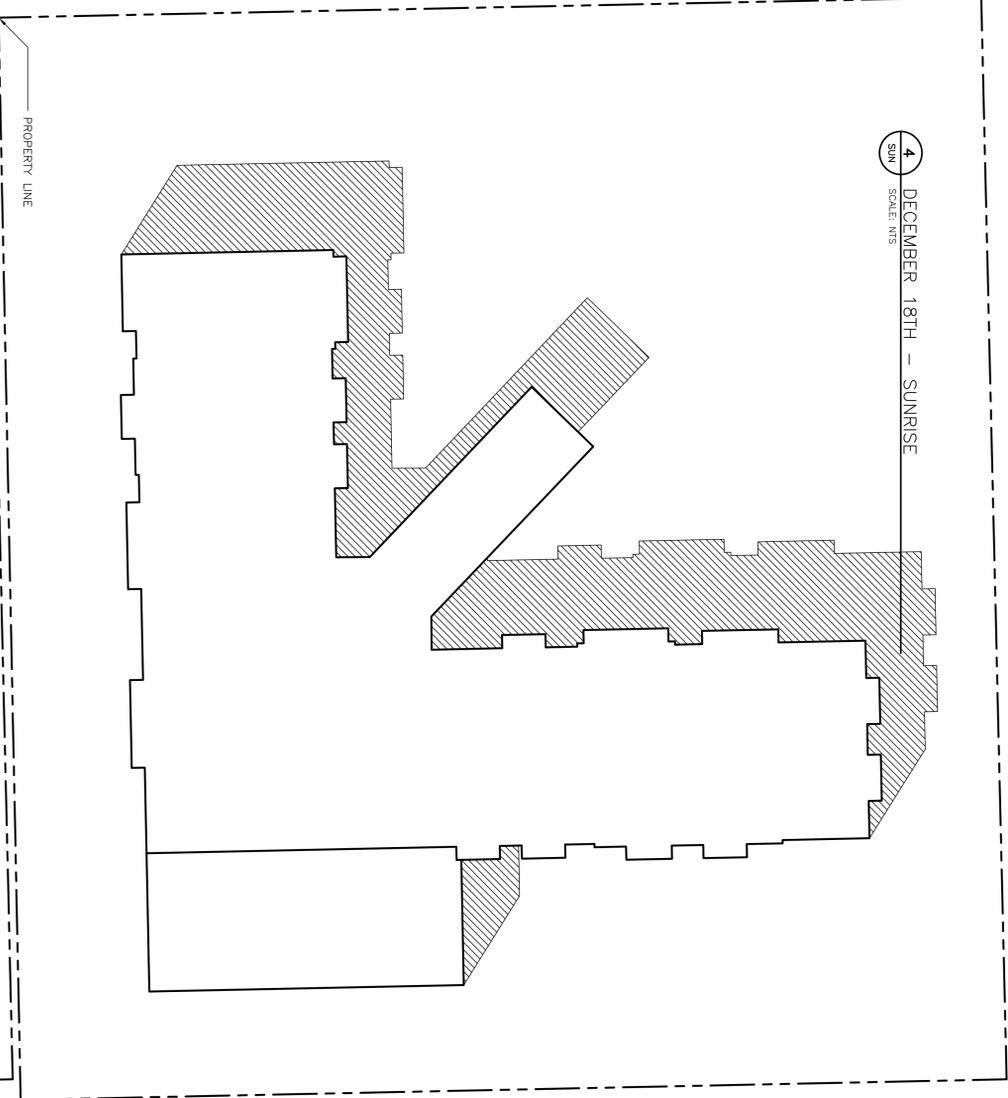
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 THE BUILDING GROUP

ASTER ASSISTED LIVING - MEQUON

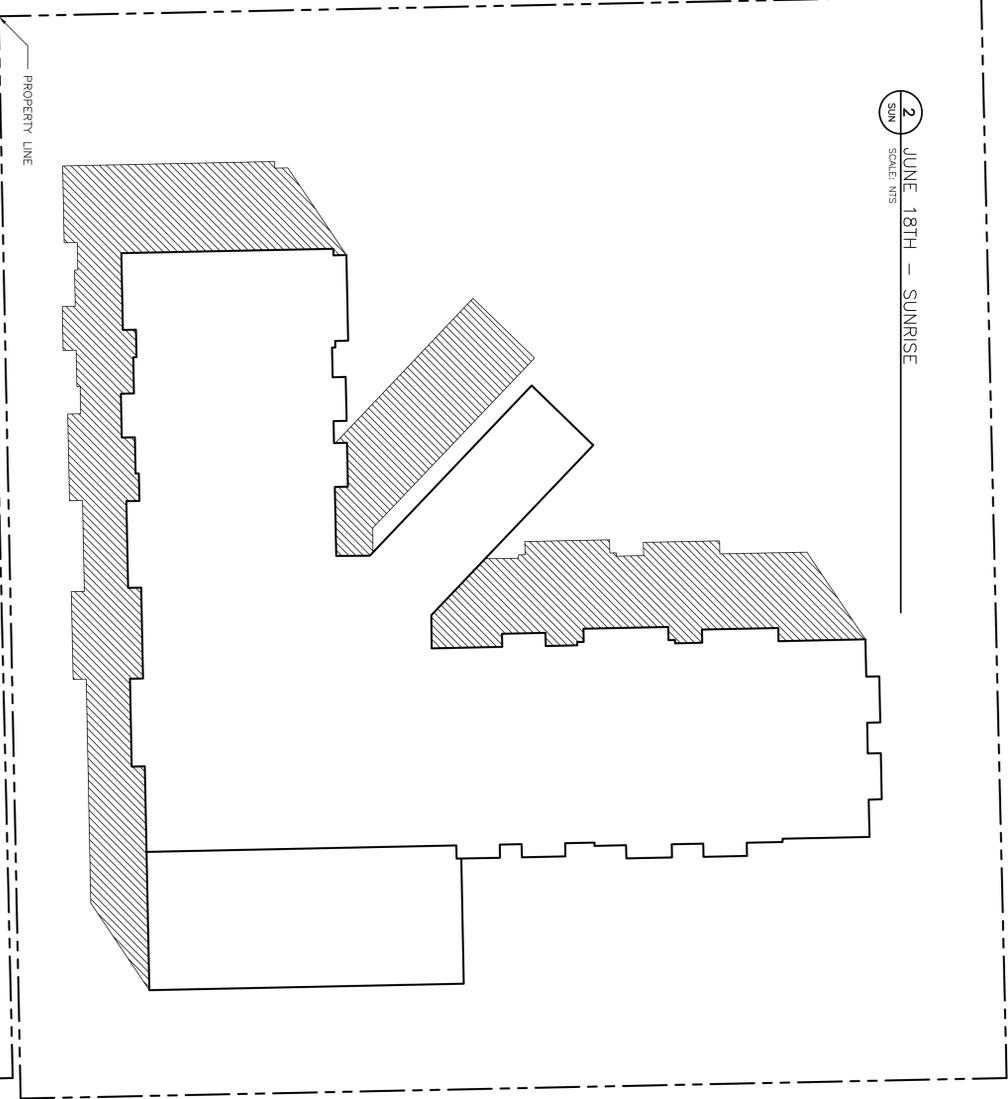
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 (604) 273-1111
 www.jsdbuilding.com

PROJECT # 20-140
 SHEET NUMBER
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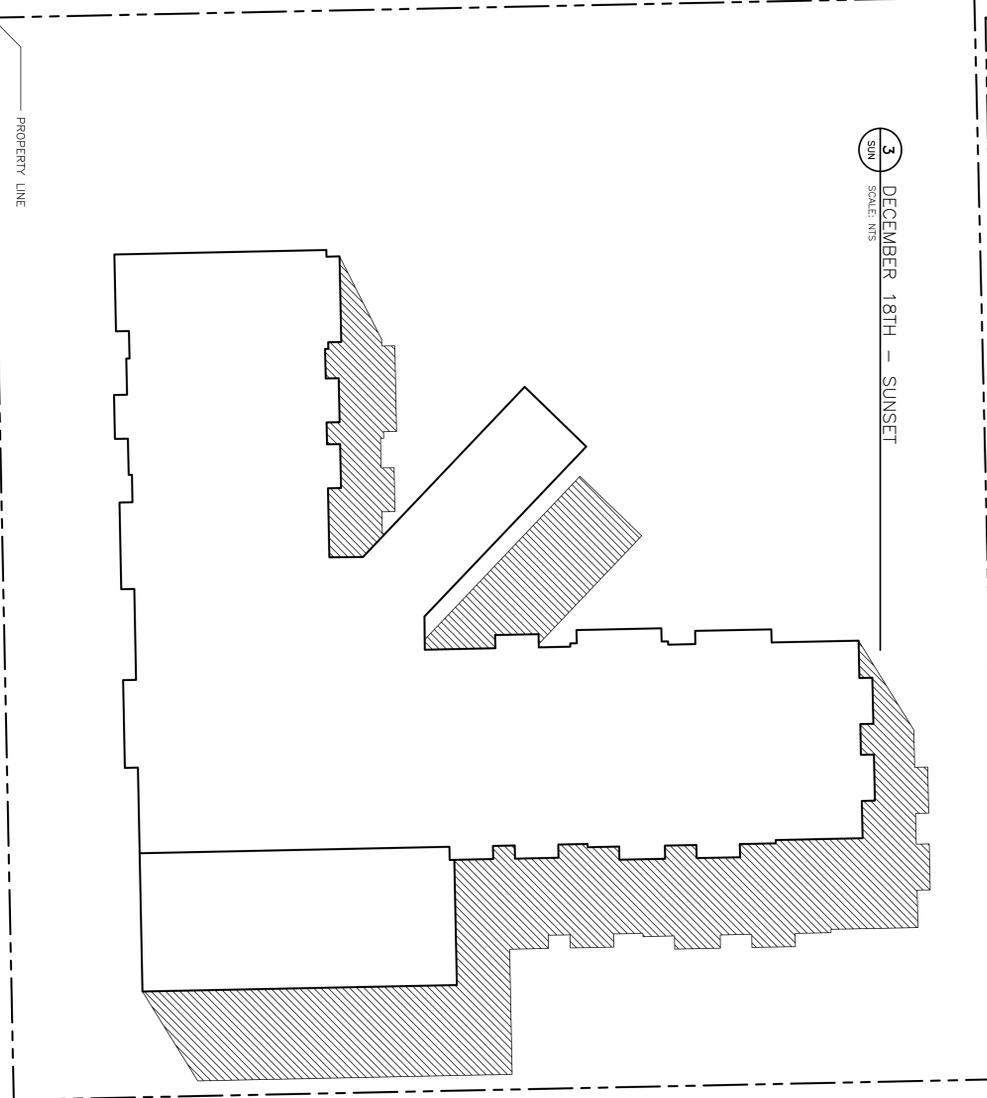
4 DECEMBER 18TH - SUNRISE
SUN SCALE: NTS



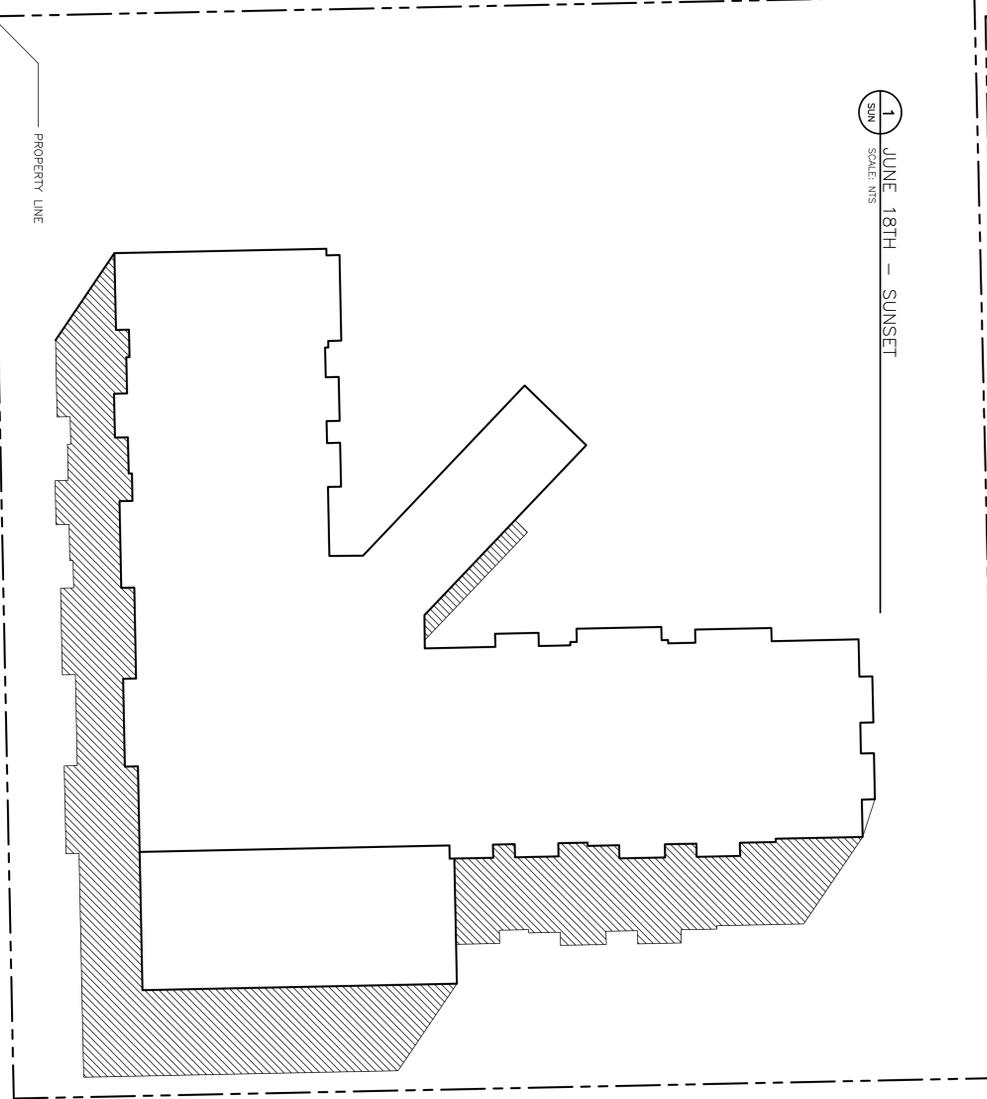
2 JUNE 18TH - SUNRISE
SUN SCALE: NTS



3 DECEMBER 18TH - SUNSET
SUN SCALE: NTS



1 JUNE 18TH - SUNSET
SUN SCALE: NTS



ICONICA
True Design-Build
901 Deming Way / Madison, WI 53717
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MEQUON ASSISTED LIVING
WEST MEQUON ROAD
MEQUON, WI 53097
ICONICARE, LLC
901 DEMING WAY, SUITE 102
MADISON, WI 53717

ISSUE DATES:
CITY SUBMITTAL #3: 01-11-16

RFI/S DATE:

PROJECT #: 2015040
SHEET NUMBER

SUN



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WEST MEQUON ROAD

S 89°45'24" E 149.84

S 89°45'24" E 188.00

S 00°15'42" W 270.00

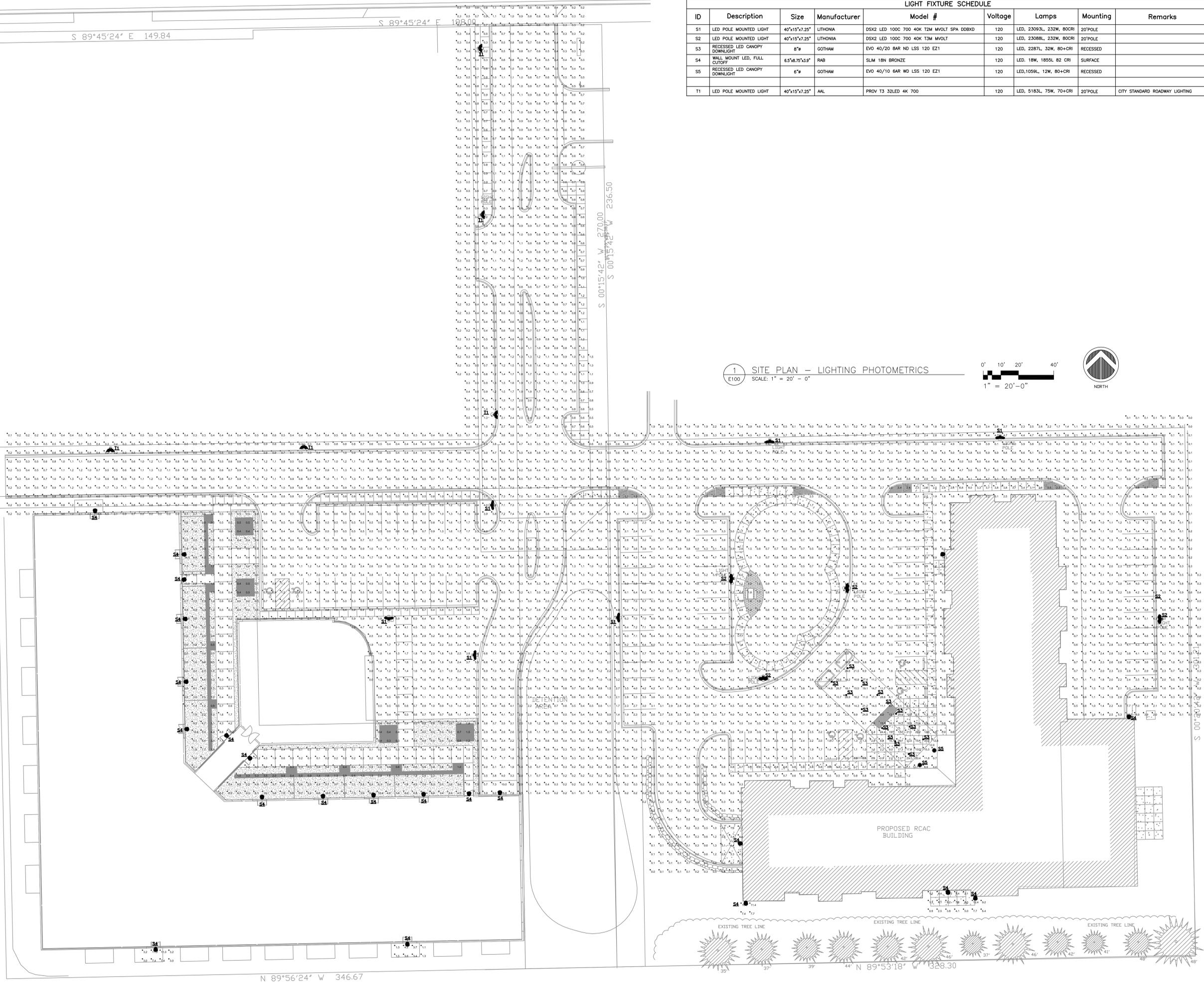
S 00°15'42" W 236.50

N 00°03'36" E 359.71

N 89°56'24" W 346.67

ID	Description	Size	Manufacturer	Model #	Voltage	Lamps	Mounting	Remarks
S1	LED POLE MOUNTED LIGHT	40"x15"x7.25"	LITHONIA	DSX2 LED 100C 700 40K T2M MVOLT SPA DBBXD	120	LED, 23093L, 232W, 80CRI	20'POLE	
S2	LED POLE MOUNTED LIGHT	40"x15"x7.25"	LITHONIA	DSX2 LED 100C 700 40K T3M MVOLT	120	LED, 23088L, 232W, 80CRI	20'POLE	
S3	RECESSED LED CANOPY DOWNLIGHT	8"ø	GOTHAM	EVO 40/20 8AR ND LSS 120 EZ1	120	LED, 2287L, 32W, 80+CRI	RECESSED	
S4	WALL MOUNT LED, FULL CUTOFF	6.5"x8.75"x3.5"	RAB	SLIM 18N BRONZE	120	LED, 18W, 1855L B2 CRI	SURFACE	
S5	RECESSED LED CANOPY DOWNLIGHT	8"ø	GOTHAM	EVO 40/10 6AR WD LSS 120 EZ1	120	LED, 1059L, 12W, 80+CRI	RECESSED	
T1	LED POLE MOUNTED LIGHT	40"x15"x7.25"	AAL	PROV T3 32LED 4K 700	120	LED, 5183L, 75W, 70+CRI	20'POLE	CITY STANDARD ROADWAY LIGHTING

1 SITE PLAN - LIGHTING PHOTOMETRICS
E100 SCALE: 1" = 20' - 0"



MEQUON ASSISTED LIVING
WEST MEQUON ROAD
MEQUON, WI 53097

ICONICARE, LLC
901 DEMING WAY, SUITE 102
MADISON, WI 53717

ISSUE DATES:
CITY SUBMITTAL: 08-03-15

RF/ISI DATE:

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PROJECT #: 20150040
SHEET NUMBER

E100

Mequon Assisted Living

Site Lighting Fixture Cut Sheets



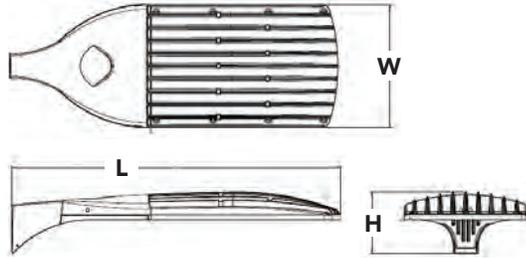
D-Series Size 2 LED Area Luminaire

d#series



Specifications

EPA:	2.0 ft ² (0.19 m ²)
Length:	40" (101.6 cm)
Width:	15" (38.1 cm)
Height:	7-1/4" (18.4 cm)
Weight (max):	36 lbs (16.3 kg)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
DSX2 LED	Forward optics	530 530 mA	30K 3000 K	T1S Type I Short	MVOLT ²	Shipped included
	80C 80 LEDs (four engine)	700 700 mA	40K 4000 K	T2S Type II Short	120 ²	SPA Square pole mounting
	100C 100 LEDs (four engines)	1000 1000 mA (1 A)	50K 5000 K	T2M Type II Medium	208 ²	RPA Round pole mounting
	Rotated optics¹		AMBPC Amber phosphor converted	T3S Type III Short	240 ²	WBA Wall bracket
	90C 90 LEDs			T3M Type III Medium	277 ²	SPUMBA Square pole universal mounting adaptor ⁴
				T4M Type IV Medium	347 ³	RPUMBA Round pole universal mounting adaptor ⁴
					480 ³	Shipped separately
						KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁵

Control options	Other options	Finish (required)
Shipped installed PER NEMA twist-lock receptacle only (no controls) ⁶ PER5 Five-wire receptacle only (no controls) ^{6,7} PER7 Seven-wire receptacle only (no controls) ^{6,7} DMG 0-10V dimming driver (no controls) ⁸ DCR Dimmable and controllable via ROAM® (no controls) ⁹ DS Dual switching ^{10,11} PIRH Motion sensor, 15-30' mounting height ¹²	Shipped installed HS House-side shield ¹⁵ SF Single fuse (120, 277, 347V) ² DF Double fuse (208, 240, 480V) ² L90 Left rotated optics ¹⁶ R90 Right rotated optics ¹⁶	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Drilling

Template #8 Top of Pole

DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS Single unit	DM29AS 2 at 90°*
DM28AS 2 at 180°	DM39AS 3 at 90°*
DM49AS 4 at 90°*	DM32AS 3 at 120°**

Example: SSA 20 4C DM19AS DDBXD

Controls & Shields

Accessories
Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁷
DLL347F 1.5 CULJU	Photocell - SSL twist-lock (347V) ¹⁷
DLL480F 1.5 CULJU	Photocell - SSL twist-lock (480V) ¹⁷
SC U	Shorting cap ¹⁷
DSX2HS 80C U	House-side shield for 80 LED unit
DSX2HS 90C U	House-side shield for 90 LED unit
DSX2HS 100C U	House-side shield for 100 LED unit
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish)
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ¹

For more control options, visit [DTL](#) and [ROAM](#) online.

Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

- ### NOTES
- Rotated optics option (L90 or R90) required for 90C.
 - MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
 - Not available with BL30, BL50 or PNMT options.
 - Available as a separate combination accessory: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
 - Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
 - Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
 - If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR.
 - DMG option for 347V or 480V requires 1000mA.
 - Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with DS, PIRH, PER5, PER7, BL30, BL50 or PNMT options.
 - Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with 80C 530, 90C 530, PER, PER5, PER7, DCR, BL30, BL50 or PNMT options.
 - Requires an additional switched circuit.
 - Specifies the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with DS, PER5 or PER7.
 - Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7 or PNMT options.
 - Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7, BL30 or BL50.
 - Also available as a separate accessory; see Accessories information.
 - Available with 90 LEDs (90C option) only.
 - Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.



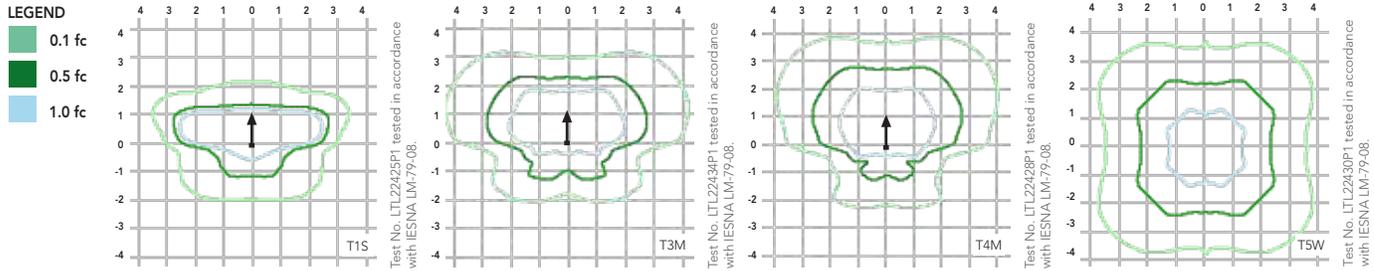
Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																								
LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)					
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	
80C (80 LEDs)	530 mA	137 W	T1S	14,438	3	0	3	108	15,360	3	0	3	115	15,415	3	0	3	115	10,752	2	0	2	78	
			T2S	14,172	3	0	3	106	15,077	3	0	3	113	15,131	3	0	3	113	10,554	2	0	2	77	
			T2M	14,196	3	0	3	106	15,102	3	0	3	113	15,156	3	0	3	114	10,571	2	0	2	77	
			T3S	14,165	3	0	3	106	15,069	3	0	3	113	15,123	3	0	3	113	10,548	2	0	2	77	
			T3M	14,193	3	0	4	106	15,099	3	0	4	113	15,153	3	0	4	114	10,569	2	0	2	77	
			T4M	13,736	3	0	4	103	15,067	3	0	4	113	15,121	3	0	4	113	10,547	2	0	2	77	
			TFTM	14,424	3	0	4	108	15,345	3	0	4	115	15,400	3	0	4	115	10,741	1	0	2	78	
			TSVS	14,980	5	0	1	112	15,936	5	0	1	119	15,993	5	0	1	120	11,155	3	0	0	81	
			TSS	14,972	4	0	2	112	15,927	4	0	2	119	15,985	4	0	2	120	11,149	3	0	0	81	
			TSM	14,900	5	0	3	112	15,851	5	0	3	119	15,908	5	0	3	119	11,096	3	0	2	81	
			TSW	14,713	5	0	3	110	15,652	5	0	3	117	15,709	5	0	3	118	10,957	3	0	2	80	
			T1S	17,944	3	0	3	98	19,089	3	0	3	104	19,158	3	0	3	105	13,362	2	0	2	71	
	T2S	17,613	3	0	3	96	18,738	3	0	3	102	18,805	3	0	3	103	13,116	2	0	2	70			
	T2M	17,643	3	0	3	96	18,769	3	0	3	103	18,836	3	0	3	103	13,138	2	0	2	70			
	T3S	17,604	3	0	3	96	18,728	3	0	3	102	18,795	3	0	3	103	13,110	2	0	2	70			
	T3M	17,639	3	0	4	96	18,764	3	0	4	103	18,832	3	0	4	103	13,135	2	0	3	70			
	T4M	17,071	3	0	4	93	18,725	3	0	4	102	18,792	3	0	4	103	13,108	2	0	2	70			
	TFTM	17,926	3	0	4	98	19,071	3	0	4	104	19,139	3	0	4	105	13,349	2	0	2	71			
	TSVS	18,617	5	0	1	102	19,805	5	0	1	108	19,876	5	0	1	109	13,864	3	0	1	74			
	TSS	18,607	4	0	2	102	19,794	4	0	2	108	19,866	4	0	2	109	13,856	3	0	1	74			
	TSM	18,518	5	0	3	101	19,700	5	0	3	108	19,771	5	0	3	108	13,790	3	0	2	73			
	TSW	18,286	5	0	3	100	19,453	5	0	3	106	19,523	5	0	3	107	13,617	4	0	2	72			
	T1S	24,339	3	0	3	85	25,892	3	0	3	91	25,985	3	0	3	91	18,125	2	0	2	64			
	T2S	23,891	3	0	3	84	25,416	3	0	3	89	25,507	3	0	3	90	17,791	3	0	3	63			
	T2M	23,931	3	0	3	84	25,458	3	0	4	89	25,550	3	0	4	90	17,821	3	0	3	63			
	T3S	23,879	3	0	3	84	25,403	3	0	3	89	25,494	3	0	3	90	17,782	2	0	2	63			
	T3M	23,925	3	0	4	84	25,452	3	0	4	89	25,544	3	0	4	90	17,817	3	0	3	63			
	T4M	23,155	3	0	4	81	25,399	3	0	4	89	25,490	3	0	4	90	17,779	2	0	3	63			
	TFTM	24,315	3	0	4	85	25,867	3	0	4	91	25,960	3	0	4	91	18,107	2	0	3	64			
	TSVS	25,252	5	0	1	89	26,864	5	0	1	94	26,960	5	0	1	95	18,805	3	0	1	67			
	TSS	25,238	5	0	2	89	26,849	5	0	2	94	26,946	5	0	2	95	18,794	3	0	1	67			
	TSM	25,118	5	0	3	88	26,721	5	0	3	94	26,817	5	0	3	94	18,705	4	0	2	66			
	TSW	24,803	5	0	4	87	26,386	5	0	4	93	26,481	5	0	4	93	18,470	4	0	2	65			
	100C (100 LEDs)	530 mA	175 W	T1S	17,592	3	0	3	103	18,715	3	0	3	110	18,782	3	0	3	110	13,100	2	0	2	75
				T2S	17,268	3	0	3	101	18,370	3	0	3	108	18,436	3	0	3	108	12,859	2	0	2	73
				T2M	17,297	3	0	3	102	18,401	3	0	3	108	18,467	3	0	3	108	12,881	2	0	2	74
T3S				17,259	3	0	3	101	18,361	3	0	3	108	18,427	3	0	3	108	12,853	2	0	2	73	
T3M				17,293	3	0	4	101	18,397	3	0	4	108	18,463	3	0	4	108	12,878	2	0	3	74	
T4M				16,736	3	0	4	98	18,358	3	0	4	108	18,424	3	0	4	108	12,851	2	0	2	73	
TFTM				17,575	3	0	4	103	18,697	3	0	4	110	18,764	3	0	4	110	13,088	2	0	2	75	
TSVS				18,252	5	0	1	107	19,417	5	0	1	114	19,487	5	0	1	114	13,592	3	0	1	78	
TSS				18,242	4	0	2	107	19,406	4	0	2	114	19,476	4	0	2	114	13,584	3	0	1	78	
TSM				18,155	5	0	3	107	19,314	5	0	3	113	19,383	5	0	3	114	13,520	3	0	2	77	
TSW				17,927	5	0	3	105	19,071	5	0	3	112	19,140	5	0	3	112	13,350	4	0	2	76	
T1S				22,078	3	0	3	97	23,487	3	0	3	103	23,571	3	0	3	104	16,441	2	0	2	71	
T2S		21,671	3	0	3	95	23,055	3	0	3	101	23,137	3	0	3	102	16,138	2	0	2	70			
T2M		21,707	3	0	3	96	23,093	3	0	3	102	23,176	3	0	3	102	16,165	2	0	3	70			
T3S		21,660	3	0	3	95	23,043	3	0	3	101	23,126	3	0	3	102	16,130	2	0	2	70			
T3M		21,702	3	0	4	95	23,088	3	0	4	102	23,171	3	0	4	102	16,161	2	0	3	70			
T4M		21,004	3	0	4	92	23,039	3	0	4	101	23,122	3	0	4	102	16,127	2	0	3	70			
TFTM		22,056	3	0	4	97	23,464	3	0	4	103	23,549	3	0	4	104	16,425	2	0	2	71			
TSVS		22,906	5	0	1	101	24,368	5	0	1	107	24,456	5	0	1	108	17,058	3	0	1	74			
TSS		22,894	4	0	2	101	24,355	4	0	2	107	24,442	4	0	2	108	17,048	3	0	1	73			
TSM		22,784	5	0	3	100	24,239	5	0	3	107	24,326	5	0	3	107	16,967	4	0	2	73			
TSW		22,498	5	0	3	99	23,935	5	0	3	105	24,021	5	0	3	106	16,754	4	0	2	72			
T1S		28,465	3	0	3	80	31,708	3	0	3	89	32,074	3	0	3	89	22,196	3	0	3	62			
T2S		29,257	3	0	3	82	31,125	3	0	3	88	31,237	3	0	3	87	21,787	3	0	3	61			
T2M		29,306	3	0	3	82	31,177	3	0	3	87	31,289	3	0	3	88	21,824	3	0	3	61			
T3S		29,243	3	0	3	82	31,109	3	0	3	88	31,221	3	0	3	87	21,776	3	0	3	60			
T3M		29,299	3	0	4	82	31,170	3	0	4	87	31,282	3	0	4	88	21,819	3	0	3	61			
T4M		28,356	3	0	4	79	31,104	3	0	4	86	31,216	3	0	4	87	21,773	3	0	3	60			
TFTM		29,777	3	0	4	83	31,678	3	0	4	88	31,792	3	0	4	89	22,175	3	0	3	62			
TSVS		30,924	5	0	1	87	32,898	5	0	1	93	33,017	5	0	1	92	23,029	4	0	1	64			
TSS		30,908	4	0	2	87	32,880	4	0	2	91	32,999	4	0	2	92	23,016	4	0	1	64			
TSM		30,760	5	0	3	86	32,723	5	0	3	92	32,841	5	0	3	92	22,906	4	0	2	64			
TSW		30,374	5	0	3	85	32,313	5	0	3	91	32,429	5	0	3	91	22,619	4	0	2	63			

Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (2.0 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of 80, 90 or 100 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



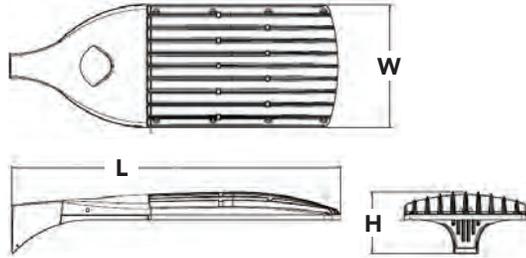
D-Series Size 2 LED Area Luminaire

d#series



Specifications

EPA:	2.0 ft ² (0.19 m ²)
Length:	40" (101.6 cm)
Width:	15" (38.1 cm)
Height:	7-1/4" (18.4 cm)
Weight (max):	36 lbs (16.3 kg)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD

DSX2 LED		Drive current		Color temperature		Distribution				Voltage	Mounting
DSX2 LED	Forward optics	530	530 mA	30K	3000 K	T1S	Type I Short	TFTM	Forward Throw Medium	MVOLT ²	Shipped included
	80C 80 LEDs (four engine)	700	700 mA	40K	4000 K	T2S	Type II Short	T5VS	Type V Very Short	120 ²	SPA Square pole mounting
	100C 100 LEDs (four engines)	1000	1000 mA (1 A)	50K	5000 K	T2M	Type II Medium	T5S	Type V Short	208 ²	RPA Round pole mounting
	Rotated optics¹			AMBPC	Amber phosphor converted	T3S	Type III Short	T5M	Type V Medium	240 ²	WBA Wall bracket
	90C 90 LEDs					T3M	Type III Medium	T5W	Type V Wide	277 ²	SPUMBA Square pole universal mounting adaptor ⁴
						T4M	Type IV Medium			347 ³	RPUMBA Round pole universal mounting adaptor ⁴
										480 ³	Shipped separately
											KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁵

Control options		Other options		Finish (required)
Shipped installed		Shipped installed		DDBXD Dark bronze
PER	NEMA twist-lock receptacle only (no controls) ⁶	BL30	Bi-level switched dimming, 30% ^{11,13}	DBLXD Black
PER5	Five-wire receptacle only (no controls) ^{6,7}	BL50	Bi-level switched dimming, 50% ^{11,13}	DNAXD Natural aluminum
PER7	Seven-wire receptacle only (no controls) ^{6,7}	PNMTDD3	Part night, dim till dawn ¹⁴	DWHXD White
DMG	0-10V dimming driver (no controls) ⁸	PNMT5D3	Part night, dim 5 hrs ¹⁴	DBDXTD Textured dark bronze
DCR	Dimmable and controllable via ROAM® (no controls) ⁹	PNMT6D3	Part night, dim 6 hrs ¹⁴	DBLXTD Textured black
DS	Dual switching ^{10,11}	PNMT7D3	Part night, dim 7 hrs ¹⁴	DNATXD Textured natural aluminum
PIRH	Motion sensor, 15-30' mounting height ¹²			DWHGXD Textured white

Drilling

Template #8 Top of Pole

DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90°*
DM28AS	2 at 180°	DM39AS	3 at 90°*
DM49AS	4 at 90°*	DM32AS	3 at 120°**

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's **POLES CENTRAL** to see our wide selection of poles, accessories and educational tools.
*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

Controls & Shields

Accessories
Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁷
DLL347F 1.5 CULJU	Photocell - SSL twist-lock (347V) ¹⁷
DLL480F 1.5 CULJU	Photocell - SSL twist-lock (480V) ¹⁷
SC U	Shorting cap ¹⁷
DSX2HS 80C U	House-side shield for 80 LED unit
DSX2HS 90C U	House-side shield for 90 LED unit
DSX2HS 100C U	House-side shield for 100 LED unit
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish)
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ¹

For more control options, visit **DTL** and **ROAM** online.

Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

- ### NOTES
- Rotated optics option (L90 or R90) required for 90C.
 - MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
 - Not available with BL30, BL50 or PNMT options.
 - Available as a separate combination accessory: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
 - Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
 - Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
 - If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR.
 - DMG option for 347V or 480V requires 1000mA.
 - Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with DS, PIRH, PER5, PER7, BL30, BL50 or PNMT options.
 - Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with 80C 530, 90C 530, PER, PER5, PER7, DCR, BL30, BL50 or PNMT options.
 - Requires an additional switched circuit.
 - Specifies the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with DS, PER5 or PER7.
 - Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7 or PNMT options.
 - Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7, BL30 or BL50.
 - Also available as a separate accessory; see Accessories information.
 - Available with 90 LEDs (90C option) only.
 - Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.



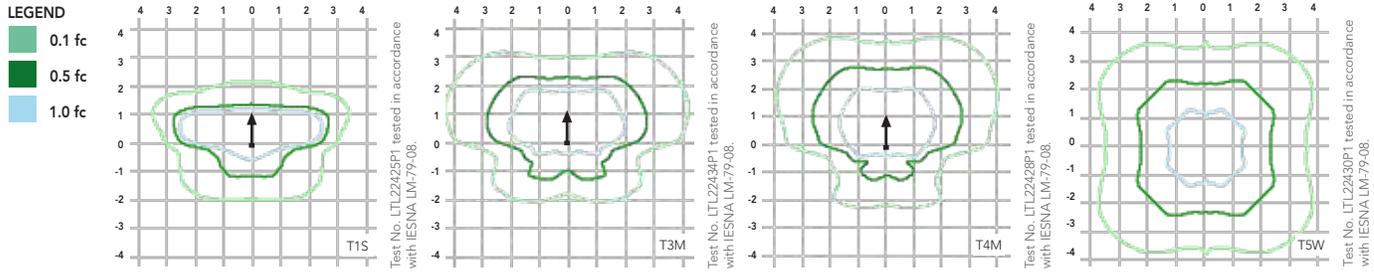
Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																								
LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)					
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	
80C (80 LEDs)	530 mA	137 W	T1S	14,438	3	0	3	108	15,360	3	0	3	115	15,415	3	0	3	115	10,752	2	0	2	78	
			T2S	14,172	3	0	3	106	15,077	3	0	3	113	15,131	3	0	3	113	10,554	2	0	2	77	
			T2M	14,196	3	0	3	106	15,102	3	0	3	113	15,156	3	0	3	114	10,571	2	0	2	77	
			T3S	14,165	3	0	3	106	15,069	3	0	3	113	15,123	3	0	3	113	10,548	2	0	2	77	
			T3M	14,193	3	0	4	106	15,099	3	0	4	113	15,153	3	0	4	114	10,569	2	0	2	77	
			T4M	13,736	3	0	4	103	15,067	3	0	4	113	15,121	3	0	4	113	10,547	2	0	2	77	
			TFTM	14,424	3	0	4	108	15,345	3	0	4	115	15,400	3	0	4	115	10,741	1	0	2	78	
			TSVS	14,980	5	0	1	112	15,936	5	0	1	119	15,993	5	0	1	120	11,155	3	0	0	81	
			TSS	14,972	4	0	2	112	15,927	4	0	2	119	15,985	4	0	2	120	11,149	3	0	0	81	
			TSM	14,900	5	0	3	112	15,851	5	0	3	119	15,908	5	0	3	119	11,096	3	0	2	81	
			TSW	14,713	5	0	3	110	15,652	5	0	3	117	15,709	5	0	3	118	10,957	3	0	2	80	
			T1S	17,944	3	0	3	98	19,089	3	0	3	104	19,158	3	0	3	105	13,362	2	0	2	71	
	T2S	17,613	3	0	3	96	18,738	3	0	3	102	18,805	3	0	3	103	13,116	2	0	2	70			
	T2M	17,643	3	0	3	96	18,769	3	0	3	103	18,836	3	0	3	103	13,138	2	0	2	70			
	T3S	17,604	3	0	3	96	18,728	3	0	3	102	18,795	3	0	3	103	13,110	2	0	2	70			
	T3M	17,639	3	0	4	96	18,764	3	0	4	103	18,832	3	0	4	103	13,135	2	0	3	70			
	T4M	17,071	3	0	4	93	18,725	3	0	4	102	18,792	3	0	4	103	13,108	2	0	2	70			
	TFTM	17,926	3	0	4	98	19,071	3	0	4	104	19,139	3	0	4	105	13,349	2	0	2	71			
	TSVS	18,617	5	0	1	102	19,805	5	0	1	108	19,876	5	0	1	109	13,864	3	0	1	74			
	TSS	18,607	4	0	2	102	19,794	4	0	2	108	19,866	4	0	2	109	13,856	3	0	1	74			
	TSM	18,518	5	0	3	101	19,700	5	0	3	108	19,771	5	0	3	108	13,790	3	0	2	73			
	TSW	18,286	5	0	3	100	19,453	5	0	3	106	19,523	5	0	3	107	13,617	4	0	2	72			
	T1S	24,339	3	0	3	85	25,892	3	0	3	91	25,985	3	0	3	91	18,125	2	0	2	64			
	T2S	23,891	3	0	3	84	25,416	3	0	3	89	25,507	3	0	3	90	17,791	3	0	3	63			
	T2M	23,931	3	0	3	84	25,458	3	0	4	89	25,550	3	0	4	90	17,821	3	0	3	63			
	T3S	23,879	3	0	3	84	25,403	3	0	3	89	25,494	3	0	3	90	17,782	2	0	2	63			
	T3M	23,925	3	0	4	84	25,452	3	0	4	89	25,544	3	0	4	90	17,817	3	0	3	63			
	T4M	23,155	3	0	4	81	25,399	3	0	4	89	25,490	3	0	4	90	17,779	2	0	3	63			
	TFTM	24,315	3	0	4	85	25,867	3	0	4	91	25,960	3	0	4	91	18,107	2	0	3	64			
	TSVS	25,252	5	0	1	89	26,864	5	0	1	94	26,960	5	0	1	95	18,805	3	0	1	67			
	TSS	25,238	5	0	2	89	26,849	5	0	2	94	26,946	5	0	2	95	18,794	3	0	1	67			
	TSM	25,118	5	0	3	88	26,721	5	0	3	94	26,817	5	0	3	94	18,705	4	0	2	66			
	TSW	24,803	5	0	4	87	26,386	5	0	4	93	26,481	5	0	4	93	18,470	4	0	2	65			
	100C (100 LEDs)	530 mA	175 W	T1S	17,592	3	0	3	103	18,715	3	0	3	110	18,782	3	0	3	110	13,100	2	0	2	75
				T2S	17,268	3	0	3	101	18,370	3	0	3	108	18,436	3	0	3	108	12,859	2	0	2	73
				T2M	17,297	3	0	3	102	18,401	3	0	3	108	18,467	3	0	3	108	12,881	2	0	2	74
				T3S	17,259	3	0	3	101	18,361	3	0	3	108	18,427	3	0	3	108	12,853	2	0	2	73
				T3M	17,293	3	0	4	101	18,397	3	0	4	108	18,463	3	0	4	108	12,878	2	0	3	74
				T4M	16,736	3	0	4	98	18,358	3	0	4	108	18,424	3	0	4	108	12,851	2	0	2	73
				TFTM	17,575	3	0	4	103	18,697	3	0	4	110	18,764	3	0	4	110	13,088	2	0	2	75
				TSVS	18,252	5	0	1	107	19,417	5	0	1	114	19,487	5	0	1	114	13,592	3	0	1	78
				TSS	18,242	4	0	2	107	19,406	4	0	2	114	19,476	4	0	2	114	13,584	3	0	1	78
				TSM	18,155	5	0	3	107	19,314	5	0	3	113	19,383	5	0	3	114	13,520	3	0	2	77
				TSW	17,927	5	0	3	105	19,071	5	0	3	112	19,140	5	0	3	112	13,350	4	0	2	76
				T1S	22,078	3	0	3	97	23,487	3	0	3	103	23,571	3	0	3	104	16,441	2	0	2	71
		T2S	21,671	3	0	3	95	23,055	3	0	3	101	23,137	3	0	3	102	16,138	2	0	2	70		
		T2M	21,707	3	0	3	96	23,093	3	0	3	102	23,176	3	0	3	102	16,165	2	0	3	70		
		T3S	21,660	3	0	3	95	23,043	3	0	3	101	23,126	3	0	3	102	16,130	2	0	2	70		
T3M		21,702	3	0	4	95	23,088	3	0	4	102	23,171	3	0	4	102	16,161	2	0	3	70			
T4M		21,004	3	0	4	92	23,039	3	0	4	101	23,122	3	0	4	102	16,127	2	0	3	70			
TFTM		22,056	3	0	4	97	23,464	3	0	4	103	23,549	3	0	4	104	16,425	2	0	2	71			
TSVS		22,906	5	0	1	101	24,368	5	0	1	107	24,456	5	0	1	108	17,058	3	0	1	74			
TSS		22,894	4	0	2	101	24,355	4	0	2	107	24,442	4	0	2	108	17,048	3	0	1	73			
TSM		22,784	5	0	3	100	24,239	5	0	3	107	24,326	5	0	3	107	16,967	4	0	2	73			
TSW		22,498	5	0	3	99	23,935	5	0	3	105	24,021	5	0	3	106	16,754	4	0	2	72			
T1S		28,465	3	0	3	80	31,708	3	0	3	89	32,074	3	0	3	89	22,196	3	0	3	62			
T2S		29,257	3	0	3	82	31,125	3	0	3	88	31,237	3	0	3	87	21,787	3	0	3	61			
T2M		29,306	3	0	3	82	31,177	3	0	3	87	31,289	3	0	3	88	21,824	3	0	3	61			
T3S		29,243	3	0	3	82	31,109	3	0	3	88	31,221	3	0	3	87	21,776	3	0	3	60			
T3M		29,299	3	0	4	82	31,170	3	0	4	87	31,282	3	0	4	88	21,819	3	0	3	61			
T4M		28,356	3	0	4	79	31,104	3	0	4	86	31,216	3	0	4	87	21,773	3	0	3	60			
TFTM		29,777	3	0	4	83	31,678	3	0	4	88	31,792	3	0	4	89	22,175	3	0	3	62			
TSVS		30,924	5	0	1	87	32,898	5	0	1	93	33,017	5	0	1	92	23,029	4	0	1	64			
TSS		30,908	4	0	2	87	32,880	4	0	2	91	32,999	4	0	2	92	23,016	4	0	1	64			
TSM		30,760	5	0	3	86	32,723	5	0	3	92	32,841	5	0	3	92	22,906	4	0	2	64			
TSW		30,374	5	0	3	85	32,313	5	0	3	91	32,429	5	0	3	91	22,619	4	0	2	63			

Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (2.0 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

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INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

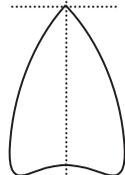
WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

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Luminaire Type:
Catalog Number
(autopopulated):



Gotham Architectural Downlighting
LED Downlights

**8" Evo®
Downlight**

Solid-State Lighting



FEATURES

OPTICAL SYSTEM

- Self-flanged semi-specular, matte-diffuse or specular finishing trim
- Patented Bounding Ray™ optical design (U.S. Patent No. 5,800,050)
- 45° cutoff to source and source image
- Top-down flash characteristic
- Polycarbonate lens integral to light engine

MECHANICAL SYSTEM

- 16-gauge galvanized steel construction; maximum 1-1/2" ceiling thickness
- Telescopic mounting bars maximum of 32" and minimum of 15", preinstalled, 4" vertical adjustment
- Toolless adjustments post installation
- Junction box capacity: 8 (4 in, 4 out) 12AWG rated for 90°C
- Light engine and driver accessible through aperture

ELECTRICAL SYSTEM

- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- Tested according to LM-79 and LM-80 standards
- Overload and short circuit protected
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional

LISTINGS

- Fixtures are CSA certified to meet US and Canadian standards; wet location, covered ceiling

WARRANTY

- 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

ORDERING INFORMATION

EXAMPLE: EVO 35/25 8AR MWD LSS 120 EZ1

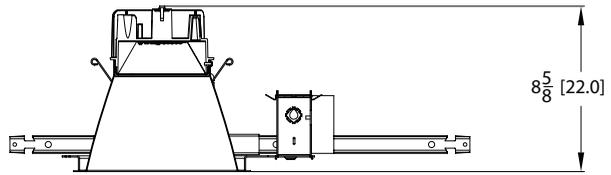
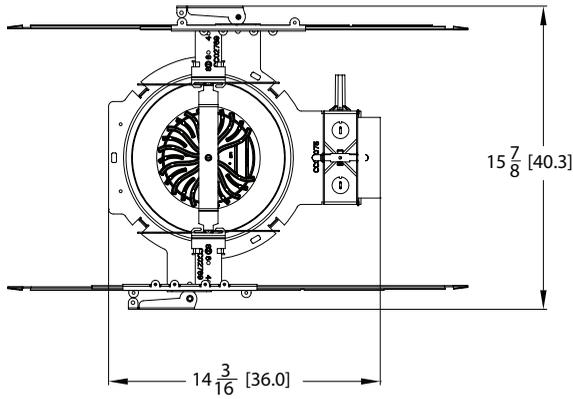
Series	Color temperature	Nominal lumen values	Aperture/Trim color	Distribution	Finish	Voltage
EVO	27/ 2700 K 30/ 3000 K 35/ 3500 K 40/ 4000 K	20 2000 lumens 25 2500 lumens 30 3000 lumens	8AR Clear 8PR Pewter 8WTR Wheat 8GR Gold 8WR ¹ White 8BR ¹ Black 8WRAM ¹ White anti-microbial	VND Very narrow (0.5 s/mh) ND Narrow (0.7 s/mh) MD Medium (0.9 s/mh) MWD Medium wide (1.0 s/mh) WD Wide (1.2 s/mh)	LSS Semi-specular LD Matte-diffuse LS Specular	120 277 347 ²

Driver ³	Options
EZ1 eldoLED ECOdrive 0-10V dimming driver. Minimum dimming range level 1%	SF⁶ Single fuse
EZB eldoLED SOLOdrive 0-10V dimming driver. Minimum dimming level <1%.	TRW⁷ White painted flange
EDAB eldoLED SOLOdrive DALI dimming driver. Minimum dimming level <1%.	TRBL⁸ Black painted flange
EDXB eldoLED POWERdrive DMX with RDM (remote device management). Minimum dimming level <1%. Includes termination resistor.	EL⁹ Emergency battery pack with integral test switch
EXA1 XPoint Wireless, eldoLED ECOdrive 1% dimming, 0-10V. Refer to XPoint tech sheet.	ELR⁹ Emergency battery pack with remote test switch
EXAB XPoint Wireless, eldoLED SOLOdrive <1% dimming, 0-10V. Refer to XPoint tech sheet.	NPS80EZ nLight® dimming pack controls 0-10V eldoLED drivers.
ECOS2^{4,5} Lutron® Hi-Lume® 2-wire forward-phase dimming driver. Minimum dimming level 1%	NPS80EZER¹⁰ nLight® dimming pack controls 0-10V eldoLED drivers. ER controls fixtures on emergency circuit.
ECOS3⁴ Lutron® Hi-Lume® 3-wire or EcoSystem® dimming driver. Minimum dimming level 1%	WRS¹¹ FIDO wireless monitoring and reporting system
	BGTD⁶ Bodine generator transfer device
	CR190 High CRI (90+)
	CP⁶ Chicago plenum
	RRL RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature.



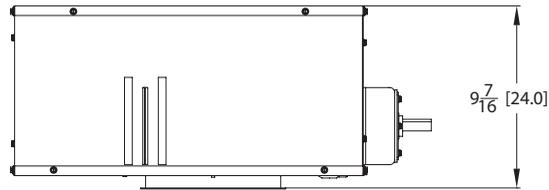
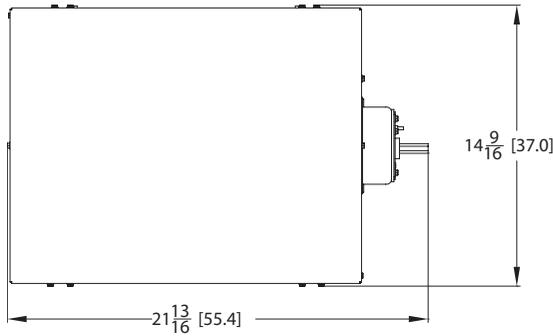
DIMENSIONAL DATA

All dimensions are inches (centimeters) unless otherwise noted.



Aperture: 7-7/8 (20.1)
 Ceiling Opening: 8-7/8 (21.5)
 Overlap Trim: 9-1/4 (23.5)

DIMENSIONS FOR CHICAGO PLENUM



ELECTRICAL

WATTAGE CONSUMPTION MATRIX			
LUMENS	LM ACTUAL	WATTAGE	LUMENS per WATT
2000	2,287	31.6	72.5
2500	2,964	41.1	72.0
3000	3,398	47.1	72.2

EMERGENCY LUMEN OUTPUT		
LUMENS	WATTAGE	INITIAL OUTPUT
2000	8.4	630
2500	7.2	540
3000	8.4	630

ACCESSORIES

ACCESSORIES order as separate catalog numbers (shipped separately)

- SCA8** Sloped ceiling adapter. Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Ex: SCA8 10D. Refer to [TECH-190](#).
- CTA4-8 YK** Ceiling thickness adapter (extends mounting frame to accommodate ceiling thickness up to 5"). Adds 1" to fixture height.
- GVRT** Vandal-resistant trim accessory. Refer to [TECH-200](#).
- ISD BC** 0-10V wallbox dimmer. Refer to [ISD-BC](#).

NOTES

ORDERING NOTES

- | | |
|---|---|
| <ul style="list-style-type: none"> 1. Not available with finishes. 2. Not available with EL or ELR options. 3. Refer to TECH-240 for compatible dimmers. 4. Not available with nLight® and XPoint options. 5. 120V only. 6. Specify 120V or 277V. | <ul style="list-style-type: none"> 7. Not available with white reflector. 8. Not available with black reflector 9. For dimensional changes, refer to TECH-140. Not available with 347V. 10. For use with generator supply EM power. Will require an emergency hot feed and normal hot feed. 11. Available only with EL/ELR. Not available with CP. PSSD2 included. Refer to PSSD2. |
|---|---|



12, 18 and 26W SLIM wallpacks are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight or uplight.

Color: Bronze

Weight: 4.5 lbs

Project:

Type:

S4

Prepared By:

Date:

Driver Info

Type: Constant Current
 120V: 0.18A
 208V: 0.11A
 240V: 0.09A
 277V: 0.08A
 Input Watts: 20W
 Efficiency: 90%

LED Info

Watts: 18W
 Color Temp: 4000K (Neutral)
 Color Accuracy: 82 CRI
 L70 Lifespan: 100,000
 Lumens: 1,855
 Efficacy: 93 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

ADA Compliant:

SLIM™ is ADA Compliant.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

Construction

IP Rating:

Ingress Protection rating of IP66 for dust and water.

Cold Weather Starting:

The minimum starting temperature is -40°F/-40°C.

Ambient Temperature:

Suitable for use in 40°C (104°F) ambient temperatures.

Thermal Management:

Superior heat sinking with internal Air-Flow fins.

Housing:

Precision die-cast aluminum housing.

Mounting:

Heavy-duty mounting bracket with hinged housing for easy installation.

Recommended Mounting Height:

Up to 14 ft.

Lens:

Tempered glass lens.

Reflector:

Specular thermoplastic.

Gaskets:

High-temperature silicone.

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free, and RoHS compliant.

LED Characteristics

LED:

Multi-chip, long-life LED.

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines for the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

Electrical

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz., 4KV surge protection, 500mA, 100-240VAC 0.3-0.15 Amps, 277VAC 0.15 Amps, Power Factor 99%.

THD:

10.4% at 120V

Other

HID Replacement Range:

The SLIM18 can be used to replace 100W MH based on delivered lumens.

California Title 24:

SLIM18 complies with 2013 California Title 24 building and electrical codes as a residential outdoor fixture. See SLIM18/PC for a model that complies as a commercial outdoor non-pole-mounted fixture__≤__30 Watts.

Technical Specifications (continued)

Other

Patents:

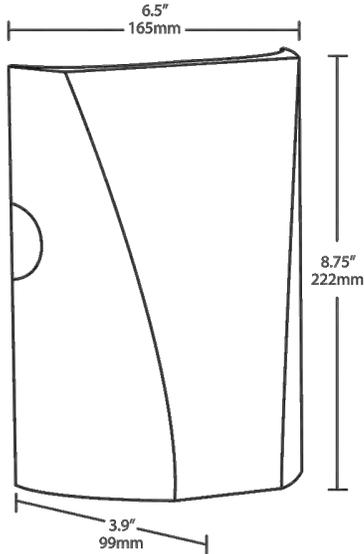
The design of the SLIM™ is protected by patents in U.S. Pat D681,864, and pending patents in Canada, China, Taiwan and Mexico.

Optical

BUG Rating:

B1 U0 G0

Dimensions



Features

- Full cutoff, fully shielded LED wallpack
- Can be used as a downlight or uplight
- Contractor friendly features for easy installation
- 100,000-hour LED Life
- 5-Year Warranty

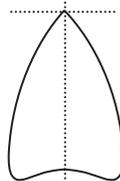
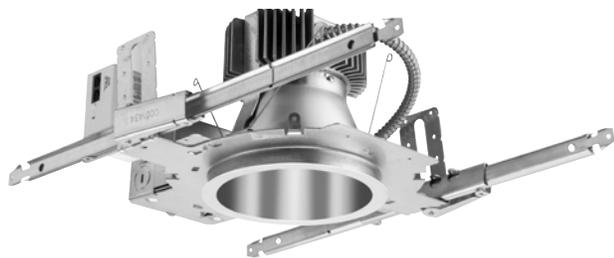
Ordering Matrix

Family	Watts	Color Temp	Finish	Photocell	Dimming
SLIM	26 = 26W 18 = 18W 12 = 12W	= Cool Y = Warm N = Neutral	= Bronze W = White	= No Photocell /PC = 120V Button /PC2 = 277V Button	= No Dimming /D10 = Dimmable





Luminaire Type:
Catalog Number
(autopopulated):



Gotham Architectural Downlighting
LED Downlights

**6" Evo®
Downlight**

Solid-State Lighting



FEATURES

OPTICAL SYSTEM

- Self-flanged semi-specular, matte-diffuse or specular finishing trim
- Patented Bounding Ray™ optical design (U.S. Patent No. 5,800,050)
- 45° cutoff to source and source image
- Top-down flash characteristic
- Polycarbonate lens integral to light engine

MECHANICAL SYSTEM

- 16-gauge galvanized steel construction; maximum 1-1/2" ceiling thickness
- Telescopic mounting bars maximum of 32" and minimum of 15", preinstalled, 4" vertical adjustment
- Toolless adjustments post installation
- Junction box capacity: 8 (4 in, 4 out) 12AWG rated for 90°C
- Light engine and driver accessible through aperture

ELECTRICAL SYSTEM

- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- Tested according to LM-79 and LM-80 standards
- Overload and short circuit protected
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional

LISTINGS

- Fixtures are CSA certified to meet US and Canadian standards; wet location, covered ceiling

WARRANTY

- 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

ORDERING INFORMATION

EXAMPLE: EVO 35/10 6AR MWD LSS MVOLT EZ1

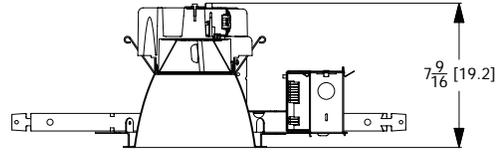
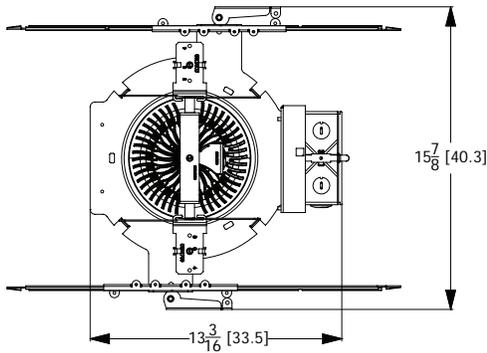
Series	Color temperature	Nominal lumen values	Aperture/Trim color	Distribution	Finish	Voltage
EVO	27/ 2700 K	10 1000 lumens 35 3500 lumens	6AR Clear	VND Very narrow (0.5 s/mh)	LSS Semi-specular	MVOLT 120
	30/ 3000 K	15 1500 lumens 40 4000 lumens	6PR Pewter	ND Narrow (0.7 s/mh)	LD Matte-diffuse	277
	35/ 3500 K	20 2000 lumens 45 4500 lumens	6WTR Wheat	MD Medium (0.9 s/mh)		
	40/ 4000 K	25 2500 lumens	6GR Gold	MWD Medium wide (1.0 s/mh)	LS Specular	347²
		30 3000 lumens	6WR¹ White	WD Wide (1.2 s/mh)		
		6BR¹ Black				
		6WRAMF¹ White anti-microbial				

Driver³	Options
EZ1 eldoLED ECOdrive 0-10V dimming driver. Minimum dimming range level 1%	SF Single fuse. Specify 120V or 277V. BGTD Bodine generator transfer device. Specify 120V or 277V.
EZB eldoLED SOLOdrive 0-10V dimming driver. Minimum dimming level <1%.	TRW⁶ White painted flange CR190 High CRI (90+)
EDAB eldoLED SOLOdrive DALI dimming driver. Minimum dimming level <1%. Minimum lumen 1500/Maximum lumen 3000.	TRBL⁷ Black painted flange CP¹⁰ Chicago plenum. Specify 120V or 277V.
EDXB eldoLED POWERdrive DMX with RDM (remote device management). Minimum dimming level <1%. Includes termination resistor. Minimum lumen 1500/Maximum lumen 3000.	EL⁸ Emergency battery pack with integral test switch RRL RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature.
EXA1 XPoint Wireless, eldoLED ECOdrive 1% dimming, 0-10V. Refer to XPoint tech sheet.	ELR⁹ Emergency battery pack with remote test switch
EXAB XPoint Wireless, eldoLED SOLOdrive <1% dimming, 0-10V. Refer to XPoint tech sheet.	NPS80EZ⁵ nLight® dimming pack controls 0-10V eldoLED drivers.
ECOS2⁴,⁵ Lutron® Hi-Lume® 2-wire forward-phase dimming driver. Minimum dimming level 1%. Minimum lumen 1500/Maximum lumen 3000.	NPS80EZER⁵,⁹ nLight® dimming pack controls 0-10V eldoLED drivers. ER controls fixtures on emergency circuit.
ECOS3⁴,⁵ Lutron® Hi-Lume® 3-wire or EcoSystem® dimming driver. Minimum dimming level 1%. Minimum lumen 1500/Maximum lumen 4500.	



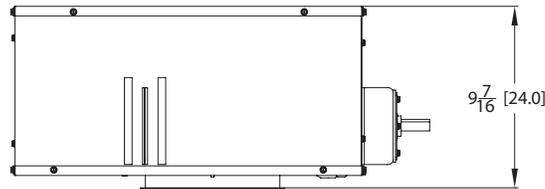
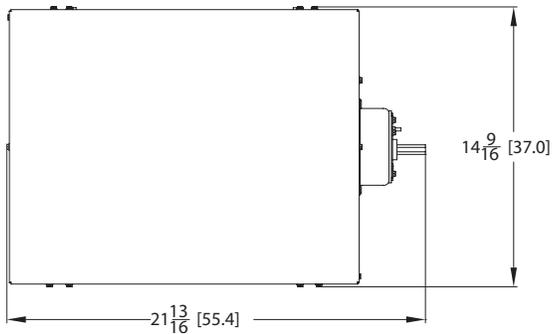
DIMENSIONAL DATA

All dimensions are inches (centimeters) unless otherwise noted.



Aperture: 6-1/4 (15.9)
 Ceiling Opening: 7-1/8 (18.1)
 Overlap Trim: 7-1/2 (19.1)

DIMENSIONS FOR CHICAGO PLENUM



ELECTRICAL

WATTAGE CONSUMPTION MATRIX			
LUMENS	LM ACTUAL	WATTAGE	LUMENS per WATT
1000	1,059	11.8	90.1
1500	1,572	18.5	85.0
2000	2,058	23.2	88.9
2500	2,612	29.5	88.5
3000	3,077	36.6	84.1
3500	3,591	42.1	85.3
4000	4,046	48.1	84.2
4500	4,555	46.9	97.1

EMERGENCY LUMEN OUTPUT		
LUMENS	WATTAGE	INITIAL OUTPUT
1000	9.6	1000
1500	9.6	1000
2000	9.6	1000
2500	9.6	1000
3000	9.6	1000
3500	9.6	1000
4000	9.6	1000
4500	9.6	1000

ACCESSORIES

ACCESSORIES order as separate catalog numbers (shipped separately)

- SCA6** Sloped ceiling adapter. Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Ex: SCA6 10D. Refer to [TECH-190](#).
- CTA4-8 YK** Ceiling thickness adapter (extends mounting frame to accommodate ceiling thickness up to 5"). Adds 1" to fixture height.
- GVRT** Vandal-resistant trim accessory. Refer to [TECH-200](#).
- ISD BC** 0-10V wallbox dimmer. Refer to [ISD-BC](#).

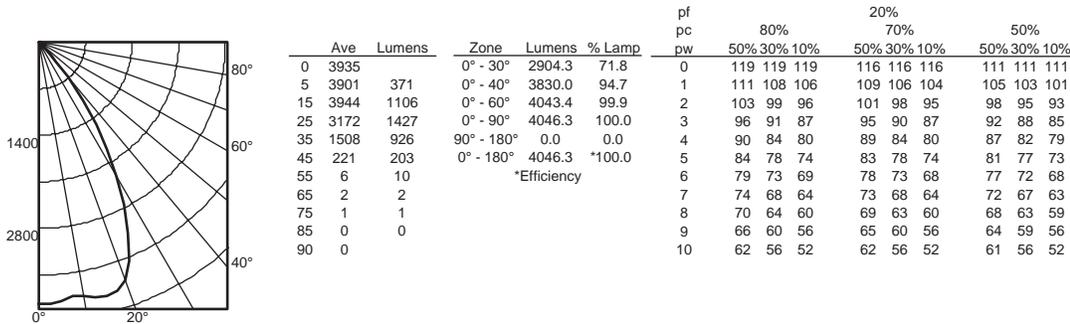
NOTES

ORDERING NOTES

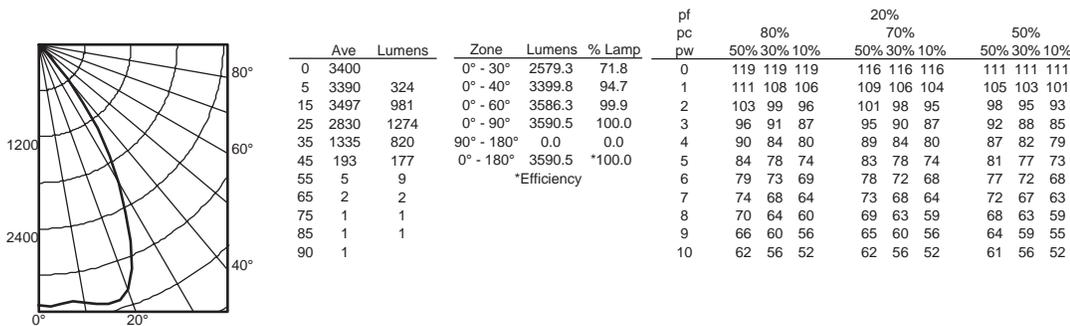
1. Not available with finishes.
2. Not available with EL or ELR options.
3. Refer to [TECH-240](#) for compatible dimmers.
4. Not available with nLight® and XPoint options.
5. Specify voltage. ECOS2 not available in 277V.
6. Not available with white reflector.
7. Not available with black reflector
8. For dimensional changes, refer to [TECH-140](#). Not available with 347V.
9. For use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
10. ELR not available. CP & ECOS2 - 3000 lumen max. CP & ECOS3 - 4000 lumen max. CP, ECOS2/ECOS3 & EL - 2000 lumen max.

Distribution Curve Distribution Data Output Data Coefficient of Utilization Illuminance: Single Luminaire 30" Above Floor

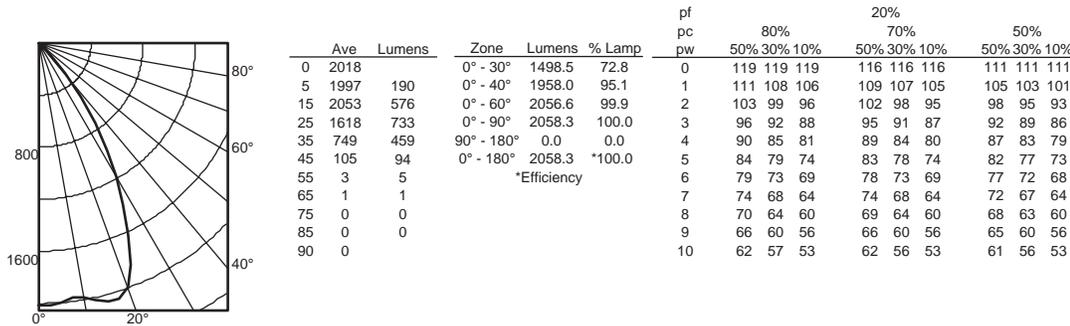
EVO 35/40 6AR LS INPUT WATTS: 48.1, DELIVERED LUMENS: 4046, LM/W=84.1, 1.03 S/MH, TEST NO. LTL27768



EVO 35/35 6AR LS INPUT WATTS: 42.1, DELIVERED LUMENS: 3591, LM/W=85.3, 1.05 S/MH, TEST NO. LTL27767



EVO 35/20 6AR LS INPUT WATTS: 23.2, DELIVERED LUMENS: 2058, LM/W=88.7, 1.02 S/MH, TEST NO. LTL27777



LUMEN OUTPUT MULTIPLIER - CRI	
CRI	FACTOR
80 CRI	1
90 CRI	0.79

LUMEN OUTPUT MULTIPLIER - CCT	
CRI	FACTOR
4000 K	1.035
3500 K	1
3000 K	0.973
2700 K	0.938

LUMEN OUTPUT MULTIPLIER - TRIM FINISH						
FINISH	CLEAR (AR)	PEWTER (PR)	WHEAT (WTR)	GOLD (GR)	WHITE (WR/WRAF)	BLACK (BR)
Specular (LS)	1.00	0.88	0.83	0.95	N/A	N/A
Semi-specular (LSS)	0.95	0.84	0.79	0.90	N/A	N/A
Matte-diffuse (LD)	0.85	0.73	0.69	0.80	N/A	N/A
Paint	N/A	N/A	N/A	N/A	0.87	0.73

PHOTOMETRY NOTES

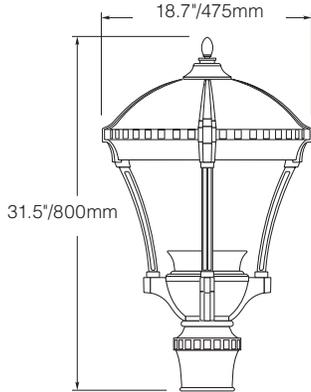
- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 85 typical.

FEATURES

- DLC Qualified
- Reliable, uniform, glare free illumination
- Types II, III, IV, V and custom distributions
- 3000K, 4000K, 5000K CCT
- 0-10V dimming ready
- Integral surge suppression
- LifeShield™ thermal protection
- 13 standard powder coat finishes



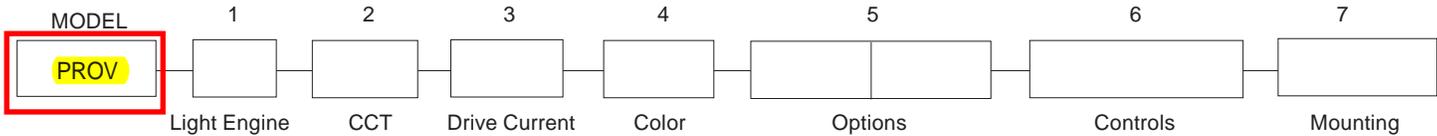
SPECIFICATIONS



- Diameter: 18.7" / 475 mm
- Height: 31.5" / 800 mm
- Weight: 29 lbs
- EPA: 0.96
- IP Rating: 65



ORDERING INFORMATION



1. LIGHT ENGINE

MicroCore Precision aimed optics

- T2-32LED
- T3-32LED
- T4-32LED
- T5-32LED
- TL-32LED
- TR-32LED

2. COLOR TEMPERATURE

- 3K
- 4K
- 5K

3. DRIVE CURRENT

- 700
- 450

4. COLOR

- AWT
- BLK
- MTB
- DGN
- DBZ
- WRZ
- BRM
- VBL
- CRT
- MAL
- MDG
- ATG
- LGY
- RAL/PREMIUM COLOR
- CUSTOM COLOR

5. OPTIONS

- SPK (Decorative spike)
- BPS (Struts painted brass)
- LDL (Lightly diffused lens)
- CLR (Clear flat lens)
- HSS (House side shield)
- PFN (Finial painted brass)
- EPA-C (Egress-Contemporary)
- EPA-T (Egress-Traditional)
- PT23 (Slips Over A 2 3/8"OD Tenon)
- PT3 (Slips Over A 3"OD Tenon)

6. CONTROL

- PCA-C (Rotatable photocell-Contemporary)
- PCA-T (Rotatable photocell-Traditional)

SCP (Sensor Control Programmable) pole accessory is available to provide occupancy detection for outdoor applications meeting California Title 24. For complete spec sheet and ordering information, visit www.aal.net/products/sensor_control_programmable/

7. MOUNTING

Standard configuration slips over a 4" DIA open top pole or may choose one.

Wall Mount Arm

- WMA7
- WMA55
- WMA56
- WMA57
- WMA9U
- WMA22U

Pole Mount Arm

- TRA5U-4
- TRA6U-4
- TRA55
- TRA55-5
- TRA56
- TRA57-4
- TRA57-5
- SLA1
- SLA1-2
- SLA8U-4
- SLA8U-5
- SLA22U-4
- SLA22U-5

Pier Mount

- PM1
- PM2
- PM3

Option

- AD5



JOB _____
 TYPE _____
 NOTES _____

Providence® MicroCore™ – Medium Housing PROV

TYPE

LUMINAIRE PERFORMANCE

Optical System	Secondary Lens or Shield	Distribution	Light Engine	Ordering Code												Drive Current	System Watts			
				3K			4K			5K										
				Delivered Lumens	Efficacy (Lm/W)	BUG Rating B U G	Delivered Lumens	Efficacy (Lm/W)	BUG Rating B U G	Delivered Lumens	Efficacy (Lm/W)	BUG Rating B U G								
MicroCore	No Lens (Standard)	TYPE 2	T2-32LED	3796	51	1	0	2	5013	67	2	0	2	5449	73	2	0	3	700	75
		TYPE 3	T3-32LED	3925	52	1	0	2	5183	69	1	0	3	5633	75	1	0	3		
		TYPE 4	T4-32LED	3740	50	0	0	1	4953	66	1	0	2	5375	72	1	0	2		
		TYPE 5	T5-32LED	3814	51	3	0	2	5058	67	3	0	2	5497	73	3	0	2		
		45° Left	TL-32LED	3887	52	1	0	1	4649	62	1	0	2	5115	68	1	0	2		
		45° Right	TR-32LED	3887	52	1	0	1	4649	62	1	0	2	5115	68	1	0	2		
No Lens (Standard)	HSS	TYPE 4	T4-32LED	2726	36	0	0	2	3663	49	0	0	2	3911	52	0	0	2	450	48
		TYPE 2	T2-32LED	2429	51	1	0	2	3208	67	1	0	2	3497	73	1	0	2		
		TYPE 3	T3-32LED	2512	52	1	0	2	3317	69	1	0	2	3605	75	1	0	2		
		TYPE 4	T4-32LED	2394	50	0	0	1	3170	66	0	0	1	3440	72	0	0	1		
		TYPE 5	T5-32LED	2441	51	2	0	1	3237	67	2	0	2	3518	73	2	0	2		
		45° Left	TL-32LED	2488	52	0	0	1	2976	62	1	0	1	3273	68	1	0	1		
		45° Right	TR-32LED	2488	52	0	0	1	2976	62	1	0	1	3273	68	1	0	1		
HSS	TYPE 4	T4-32LED	1745	36	0	0	1	2344	49	0	0	1	2503	52	0	0	2			

* DesignLights Consortium® Qualified Product



ELECTRICAL CHARACTERISTICS

Optical System	Ordering Code	Driver										Dimming						
		LED Drive mA	System Watts	Line Voltage		Amps AC		Min. Power Factor	Max THD (%)	Operating Temp. Range	Dimming Range	Source current out of 0-10V purple wire			Absolute voltage range on 0-10V (+) purple wire			
				VAC	HZ	120	277					Min	Typical	Max	Min	Typical	Max	
MicroCore	32LED	700	700	75	120-277	50/60	0.6	0.3	≥ 9	20	-30°C TO +40°C	10% TO 100%	0 MA	-	2 MA	-2.0 V	-	+15 V
		450	450	48			0.4	0.2										

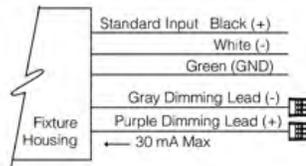
LED COLOR

Consult factory for Amber, Turtle Friendly, Gulf Coast and Observatory applications.

	Ordering Code		
	3K	4K	5K
CCT Average	3000K	4000K	5000K
CRI Minimum	≥ 80	≥ 70	≥ 70

WIRING LEADS

Luminaires not configured with wiHUBB or photo-control shall be provided with 0-10 purple and gray dimming leads.



TM-21 LIFETIME CALCULATION

Optical System	Ordering Code	Ambient Environment °C	Projected Lumen Maintenance (% vs. Khrs)					Reported L70
			15	25	50	TM-21* 60	100	
MicroCore	32LED	15	93	91	87	84	78	>60Khrs
		25	93	91	87	85	78	
		40	93	91	87	85	78	



ARCHITECTURAL AREA LIGHTING
16555 East Gale Ave. | City of Industry | CA 91745
P 626.968.5666 | F 626.369.2695 | www.aal.net
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JOB _____
TYPE _____
NOTES _____

SPECIFICATIONS

HOUSING

- Luminaire shall have discrete optical and gear compartments that do not share any physical housings.
- All housing components shall be die-cast aluminum, sealed with continuous silicone rubber gaskets.
- Standard configurations do not require a flat lens, optional lenses shall be tempered glass
- All internal and external hardware shall be stainless steel.
- Optical bezel finish shall match the luminaire housing.

OPTICAL

- Patent pending MicroCore™ LED modules shall independently aim each light emitting diode (LED) in both horizontal rotation and vertical tilt angle.
- LEDs shall be mounted to a metal printed circuit board assembly (PCBA) with a uniform conformal coating over the panel surface and electrical features.
- LED optics shall be clear injection molded PMMA acrylic.
- MicroCore™ PCBA and optic shall be sealed to a die-cast anodized aluminum heat sink with an injection molded silicone rubber gasket. IP66.
- Type 4 distribution with optional House Side Shield not available with clear or diffused glass lenses. Factory installed House Side Shield is optimized for Type 4 distribution and not recommended for use with Type 2 or 3 distribution and not available with type 5 distribution.

ELECTRICAL

- Luminaires shall have integral surge protection that shall be U.L. recognized and have a surge current rating of 10,000 Amps using the industry standard 8/20uSec wave and surge rating of 372J.
- Drivers shall be U.L. recognized with an inrush current maximum of <20.0 Amps maximum at 230VAC.
- Drivers shall not be compatible with current sourcing dimmers, consult factory for current list of known compatible dimming systems, approved dimmers include Lutron Diva AVTV, Lutron Nova NFTV and NTFTV.
- LifeShield™ shall be provided with all configurations for added protection in the event of abnormally excessive high ambient temperature conditions.

CONTROLS

- SCP shall have an integral surge protection device with a current rating of 10,000 Amps using the industry standard 8/20uSec wave and surge rating of 372J
- Sensor not intended for use with additional photo-control, wireless control or dimming systems.

PHOTOCELL / EGRESS ADAPTERS

- Adapter(s) shall slip over a 4"/100mm DIA. pole with the luminaire or arm slipping over the adapter to add a total of 4.5"/114mm to the overall height. Adapter(s) shall be prewired, independently rotatable 359°, and have a cast access cover with an integral lens and lanyard.
- Photocell adapter shall include an internal twist lock receptacle. Photocell by others.
- Egress adapter shall require an auxiliary 120 volt supply for operation of an integral MR16 lamp in the event of emergency. The lamp may be aimed and locked into position with an adjustment range of 15°-45°. Adapter shall have a socket that accepts miniature bi-pin MR16 lamps up to 50 watts, lamp by others.

SERVICING

- Luminaire shall have tool-less service access to the gear compartment. Driver and surge suppressor shall be mounted to a prewired tray with quick disconnects that may be removed from the gear compartment.

ARM MOUNTING

- Luminaire shall slip over mounting arm and secured with three stainless steel 5/16-18 set screws.

FINISH

- Luminaire finish shall consist of a five stage pretreatment regimen with a polymer primer sealer, oven dry off, and top coated with a thermoset super TGIC polyester powder coat finish.
- Luminaire finish shall meet the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance.

CERTIFICATION

- Luminaire shall be listed with ETL for outdoor, wet location use, UL1598, UL 8750 and Canadian CSA Std. C22.2 no.250.

WARRANTY / TERMS AND CONDITIONS OF SALE

Download: <http://www.hubbellighting.com/resources/warranty/>

LED lighting facts
Architectural Area Lighting
A Program of the U.S. DOE

Light Output (Lumens)	4949
Watts	75.47
Lumens per Watt (Efficacy)	65
Color Accuracy Color Rendering Index (CRI)	75
Light Color Correlated Color Temperature (CCT)	4162 (Bright White)

2700K 3000K 4500K 6500K

Warm White Bright White Daylight

All results are according to IESNA LM-79-2008 - Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: ZECH-VERQJZ (6/28/2013)
Model Number: PROV-T4-32LED-4K-700
Type: Luminaire - Area/Roadway



ARCHITECTURAL AREA LIGHTING
16555 East Gale Ave. | City of Industry | CA 91745
P 626.968.5666 | F 626.369.2695 | www.aal.net
Copyright © 2014 Rev 2.15

JOB	_____
TYPE	_____
NOTES	_____

January 20, 2016

Ms. Kim Tollefson, Dir. of Community Development
11333 N. Cedarburg Road 60W
Mequon, WI 53092-1930

Dear Ms. Tollefson:

I appreciate the opportunity to assist the City of Mequon with planning & architectural review services. The following is a review of the landscape submittal for the development of Aster Assisted Living, located at 6729 W. Mequon Rd. This is the first review of the landscape plans, the submittal date is 01/11/16. The Landscape plans were submitted by Iconicare Design Build. The planning and design was provided by JSD. The site is part of the "Town Center" zoning district and require appropriate site design/landscape considerations. The nature of this review will be to assess the landscape plan for completeness; address appropriateness of design for the site/location and how the plant palette addresses the Planning Commission's request for greater buffering/treatments.

➤ *General Overview:*

- ❖ This review pertains to a single sheet L-1.0, labeled "Landscape Plan". The proposed use is for a commercial/Assisted Living facility; the proposed application will need to demonstrate sensitivity to a number of pre-existing uses/conditions, including: Town Center/PUD zoning Intended use/at risk living facility, interior private drives & roads, Pedestrian systems, addressing informal ROW's street trees, addressing removal of the site's existing trees, interior site buffering, parking buffering, signage, and lighting.
- ❖ The plan **is not** sealed by a Wisconsin RLA, as required by City code.
- ❖ The landscape plan set provides a single site plan sheet at a 1"=20' scale. The plan sheet is clean and the information is easily discernable. Although, the plan currently fails to note the proposed structures, locate proposed signs, site lighting or the refuse/recycle structure/area. Please revise the plans to include tis information.
- ❖ The plan detail 7/L200, notes for existing tree lines to be preserved; unfortunately, the same plan calls for 5-6' of regrading <cut> to take place in the same area. The noted existing trees/shrubs to remain in the proposed graded areas will be required to be removed. Remove the notes and add landscaping in the areas to be stripped by grading.
 - The plan fails to capture the opportunity to create "borrowed views" from the interior of the building. The proposed layout fails to create gardens or pockets of natural areas, opportunities to bring natural views indoors; this is a common site design practice for assisted living facilities.
 - The plans would benefit from notes to ensure the landscape installation and maintenance takes into consideration the considerable heat island generation from the

ubiquitous P-lots and how they will adversely impact installed plant life. Traditionally, commercial developments will offset the effects of heat island impacts by installing an irrigation system.

- Sustainability: This application has given no consideration to sustainable site practices. This application could include: a rain garden or planned Bio-Swales, ect.
- The plan does not depict the location of a site business sign. If applicable, please amend the plan to graphically include the sign location.
- The location of the refuse/recycle is required, the plan shall provide design context supporting there is architectural treatment and, or landscaping to mitigate/buffer the impact of the RR area. If applicable, please amend the plan to include an opaque buffer<either planting or structure>.
- The plan provides a plant schedules with symbols, common name, scientific name, root conditions of plants specified, size specified and the total quantities, as required by code. But then the plan fails to apply/attribute the plant symbols to each plant. Also, see review below for schedule commentary.
 - The plan fails to provide symbol identification to the proposed plants, this is a requirement. Revise plan, add corresponding plant schedule symbols to the respective plants.
- Parking lots: See below for the P-Lot buffer planting comments.

Landscape Material Review:

- **Outline of the proposed plant types and quantities found on the plan:**
 - ◆ The species proposed have the ability to perform in the local soils.
 - ◆ TURF: The Plan fails to address TURF. Sod requires less establishment time and may help with meeting the site requirements. The designer shall list the total SYD turf/sod quantity on the plan.
 - ◆ Prairie Area: The code requires the seed, nurse crop, fertilizer, soil preparation, schedule/timing, application/installation, watering and over-seeding specifications. Previously, the city of Mequon has been lax in their plan requirements for prairie installations and a large proportion of them have failed and, or been abandoned due to lack of stipulated requirements. Prairie development requires three full seasons of maintenance and ongoing installation support. Without a comprehensive plan in place, I would recommend the installation of a perennial garden, using a combination of potted perennials, corms, bulbs and decorative grasses.

➤ *Plant Schedule Comments:*

1. Revisions to the plan shall include:

- 1) Add the note (All plantings shall conform to caliper/height requirements established by Ansi Z160).
- 2) revise the plant schedule to the following size standards:

- Deciduous Trees(both climax and low deciduous) – 3.0” caliper measured 16” above the rootball.
- Conifer Trees – Minimally 7’ height. Including the Thuja occidentalis ‘Smaragd’ & T.O. ‘Holmstrup’

➤ **Planting Zone Comments:**

- The submittal is organized and provides the following: 1. Street Frontage Zone; 2. Parking Lot Interior Zone; 3. Parking Lot Periphery Buffer; 4. Property Line Buffer Yard; 5. On-Lot Zone; 6. Open Space Zone; 7. Detention Basin; 8. Loading Dock Buffer
- **Street Frontage Zone:**
Code requires 1 tree per each side of/30 feet of CL length.
 - North Access Drive: Tree Density along the ROW is nonexistent.
 - **The Plan needs to be revised, incorporate Street/private drive plantings.** (Plan fails to meet new code requirements; Enforcement is per staff & P&Z Board decision.)
- **Parking Lot Interior Zone.** A) Parking lot Interior landscaping equals about 5% of the parking paved area. (Fails to meet the proposed requirement.) B) The overall landscaping **will not** provide 30% shade over parking/ bituminous areas. (Fails to meet the proposed requirement.)
- **Parking Lot Periphery Buffer:** Proposed code requires 1 tree per 25 linear feet of parking adjacent to ROW (not counting street trees). I am concerned the design and layout fails to provide adequate buffer along the north and east edge. Nor does the plan layout provide access to terrace area for snow storage, without impacting planting areas. (Fails to meet the proposed requirement.)
- **Property Line Buffer:** Per proposed code requirements, this proposal **has not started** to adequately address PL buffering. The adjacent northwest and west developments are retail and high density residential. This plan needs to clearly articulate how it is going to create a year round opaque buffer. Traditionally, this type of buffer is a 25-30’ planning zone that addresses all three planning horizons. For the commercial/business to the north and east, for the purposes of this review were considered complimentary uses and do not require extensive buffering, other than what is required to address the p-lot. If the existing trees <shown> are removed or impacted during construction, I would request City Staff and the P&Z commission to require an undulating 20-30 planting buffer < a full mix of Deciduous Conifer plantings, interdispersed with perennials, ornamental grasses and areas for annual treatments....across the South PL (Fails to meet the proposed requirement.)
- **On-Lot Zone:** Required- 1 Tree & 2 shrubs per every 1000 SF of required open space. There is very limited open space, with the exception of the area to the south – “behind” the proposed building. If the existing trees <shown> are removed or impacted during construction, I would require a 20-30 planting buffer < a full mix of Deciduous Conifer plantings, interdispersed with perennials, ornamental grasses and areas for annual treatments....across the South PL. (**Meets the proposed requirement.**)
- **Foundation Plantings at building. Front of the building** - the plan provides inadequate greenspace/terrace space to create any density other than the linear proposal provided. **Eastern edge of the building** – The fooling planter provides greater planting depth, but it fails to provide a 4’ turf edged transition between the drive and the planter. This will give

rise to the planter mulch to migrate to the impervious surface. Also, the turf edge visually gives definition and feeling of intent, but the greater function is to mitigate wheel ruts and hydraulic jacking of the pavement edge, since there is no curb being proposed along that drive edge. With that stated, the volume of proposed foundation plantings density meets the proposed codes. Although, as previously observed, this is one of the best opportunities to capture borrowed views and increase the opportunity to bring nature to the patrons sitting window-side, as well as, help mitigate certain long term maintenance issues. (Meets the proposed requirement.)

- **Trash Enclosure:** See statement above. (It is undetermined if meets the new code requirements; Enforcement is per staff & P&Z Board decision.)

❖ *Summary Landscape Observations:*

It is this reviewer's opinion, the plan fails to address the Mequon Town Center's landscaping intent. As one of Mequon's targeted developmental corridors, the Planning Commission has required additional Landscaping treatments in these proposed development zones for the past 7 years.

Additionally, the Planning Commission/City Staff has required and enforced this review's: 1) stated minimum deciduous and conifer tree sizes, 2) application of street trees 35' O.C., 3) parking lot with 30% shading & terraces <area between drives/roads & P-lot> substantial enough to support buffering and aesthetic treatments, 4) buffering between parcels, 5) buffering of Refuse/Recycle & Delivery areas from adjacent properties. Lastly, I would request the Planning Commission and City Staff ask for incorporation of a full pallet of zone appropriate deciduous & conifers: trees and shrubs, as well as, perennials, bulbs, corms, and ornamental grasses. A brief synopsis of points previously provided, include:

- The Plant Schedule shall be amended, as provide below:
 - The schedule shall be amended to specify all deciduous tree sizes to have a 3.0 inch caliper @ 16" above the root ball; all conifer trees to have a minimum 7ft height above the rootball and have a full form, per the proposed code.
 - Per ANSI z 60.1, the plantings shall meet height equivalency consistent of the stated caliper. Planting instruction: Trees selected may meet caliper requirements, but failing to meet height requirements, or root ball size requirements will be rejected by the city for cause.
 - Clump form trees shall meet the equivalency requirements between the height and caliper. Ex: Per ANSI z 60.1, a 10-12' tree is only equivalent to a 2.5" caliper tree. This reviewer recognizes that Ornamental trees may be display natural limiting height characteristics, the designer shall specify and, or select sizes that closest represents a 3.0" Caliper. The City of Mequon retains the right to reject trees for cause.
 - Assign the plant symbols provided in the plant schedule, to the proposed landscape materials.
 - Provide the 3 year establishment and maintenance plan for the proposed Prairie within the plan set.

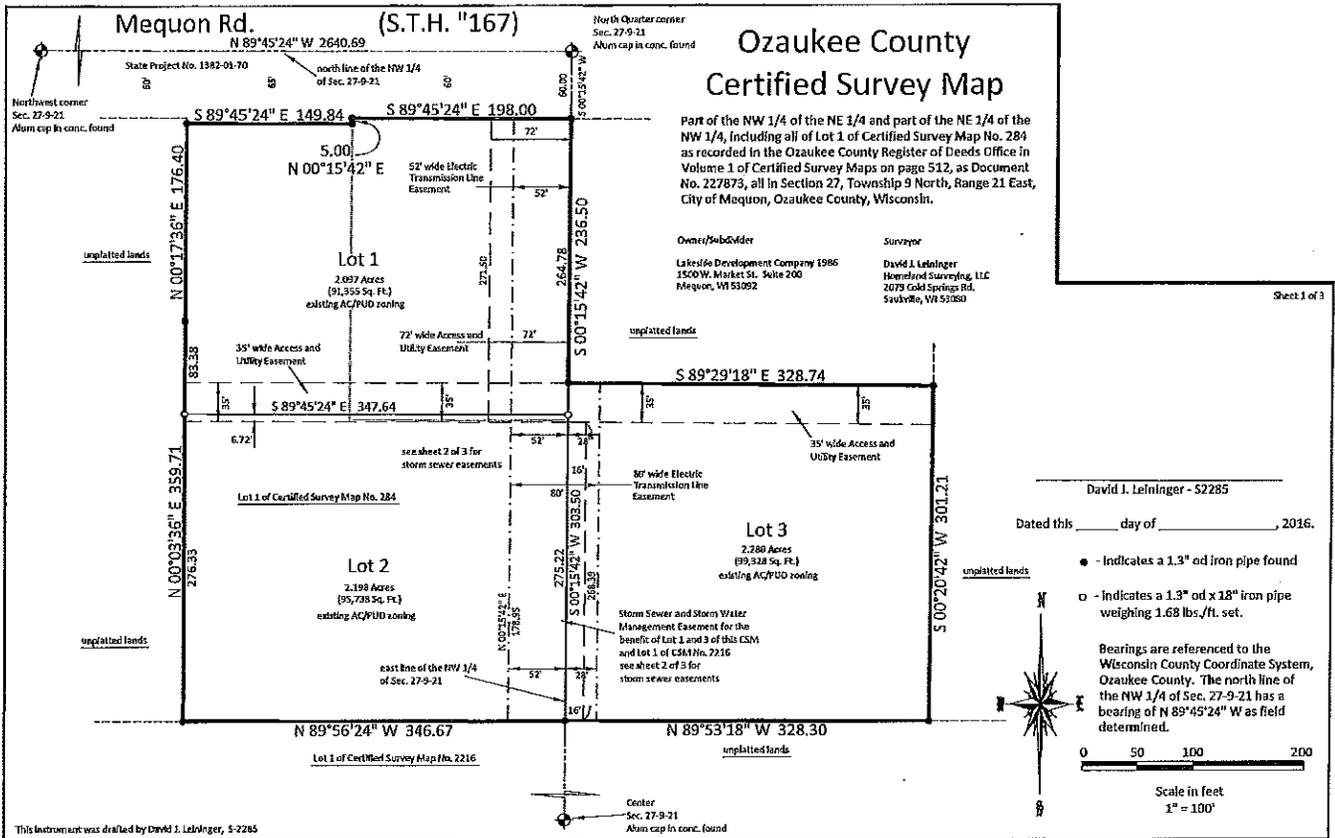
While the application is for a business/commercial use, the plan equally meets, as well as, fails to meet the standard of care established for business zoning landscaping in the City of Mequon. This concludes the landscape review of the Aster Assisted Living Landscape submission.

I hope planning staff and the commission finds the information presented and recommendations useful.

Sincerely,

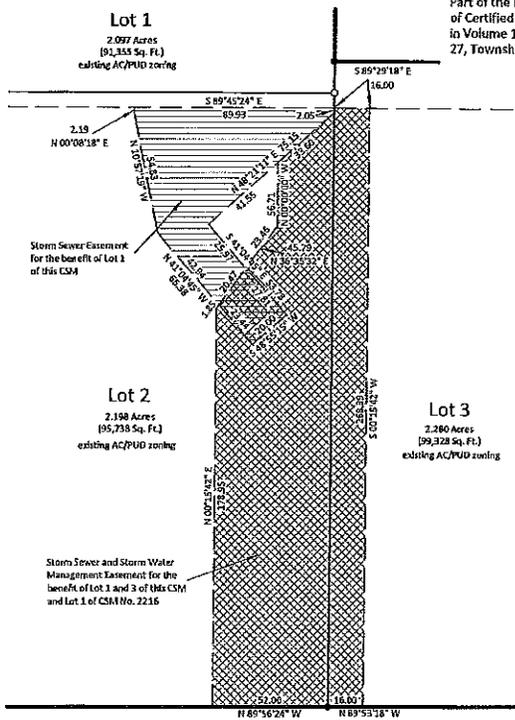
A handwritten signature in cursive script that reads "M. Terry Higgins".

M. Terry Higgins, RLA, AICP, PMP, MBA



Storm Sewer Easements Detail

Scale: 1" = 50'



Ozaukee County Certified Survey Map

Part of the NW 1/4 of the NE 1/4 and part of the NE 1/4 of the NW 1/4, including all of Lot 1 of Certified Survey Map No. 284 as recorded in the Ozaukee County Register of Deeds Office in Volume 1 of Certified Survey Maps on page 512, as Document No. 227873, all in Section 27, Township 9 North, Range 21 East, City of Mequon, Ozaukee County, Wisconsin.

Surveyor's Certificate:

I, David J. Leininger, professional land surveyor, hereby certify that by the direction of Lakeside Development Company 1986, that I have surveyed, divided and mapped the land shown and described hereon, being part of the NW 1/4 of the NE 1/4 and part of the NE 1/4 of the NW 1/4, including all of Lot 1 of Certified Survey Map No. 284 as recorded in the Ozaukee County Register of Deeds Office in Volume 1 of Certified Survey Maps on page 512, as Document No. 227873, all in Section 27, Township 9 North, Range 21 East, City of Mequon, Ozaukee County, Wisconsin, which is bounded and described as follows:

Commencing at the northwest corner of said Section 27; thence S 89°45'24" E, along the north line of said NW 1/4, 2640.69 feet to the north quarter corner of said Section 27; thence S 00°15'42" W, 60.00 feet to a point in south right of way line of S.T.H. "167, being the point of beginning of lands herein described; thence continuing S 00°15'42" W, 236.50 feet; thence S 89°29'18" E, 328.74 feet; thence S 00°20'42" W, 301.21 feet; thence N 89°53'18" W, 328.30 feet to the northwest corner of Lot 1 of Certified Survey Map No. 2216; thence N 89°56'24" W, along the north line of said Lot 1 of Certified Survey Map No. 2216, 346.67 feet; thence N 00°03'36" E, along the west line of said Lot 1 of Certified Survey Map No. 284, 359.71 feet; thence N 00°17'36" E, continuing along said west line of Lot 1, 176.40 feet to a point in said south right of way line of S.T.H. "167"; thence S 89°45'24" E, along said south right of way line, 149.84 feet; thence N 00°15'42" E, 5.00 feet; thence S 89°45'24" E, continuing along said south right of way line, 198.00 feet to the point of beginning.

Containing 6.575 acres (286,421 square feet) more or less.

I further certify that I have fully complied with the provisions of sec. 236.34 of Wisconsin Statutes and the City of Mequon Land Division Ordinance in surveying, dividing, and mapping said land, and that this map is a correct representation of the exterior boundaries of the land surveyed and the division of said lands.

Dated this _____ day of _____, 2016.

David J. Leininger, S-2285

Ozaukee County Certified Survey Map

Part of the NW 1/4 of the NE 1/4 and part of the NE 1/4 of the NW 1/4, including all of Lot 1 of Certified Survey Map No. 284 as recorded in the Ozaukee County Register of Deeds Office in Volume 1 of Certified Survey Maps on page 512, as Document No. 227873, all in Section 27, Township 9 North, Range 21 East, City of Mequon, Ozaukee County, Wisconsin.

Owner's Certificate:

As members of Lakeside Development Company 1986, we hereby certify that we caused the land shown and described herein to be surveyed, divided, and mapped as represented on this Certified Survey Map. We also certify that this Certified Survey Map is required to be submitted to the following for approval:

City of Mequon

Member

Member

STATE OF WISCONSIN)
OZAUKEE COUNTY)s.s.

Personally came before me this _____ day of _____, 2016, the above named members are to me known to be the same persons who executed the foregoing instrument and acknowledge the same.

(Notary Seal) _____, Notary Public, _____, Wisconsin.

My commission expires _____

City of Mequon Plan Commission Approval:

This land division is hereby approved by the City of Mequon Plan Commission as being in conformance with the City of Mequon Subdivision Ordinance this _____ day of _____, 2016.

Dan Abendroth - Mayor

Caroline Fochs - Deputy City Clerk

City of Mequon Common Council Approval:

This land division is hereby approved by the City of Mequon Common Council as being in conformance with the City of Mequon Land Division Ordinance.

Dated this _____ day of _____, 2016.

David J. Leininger - S2285

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CONDITIONAL USE GRANT

Articles of Agreement made and entered into this 8th day of February 2016, by and between _____ owners of the property located at _____ and the City of Mequon Planning Commission.

Before the Planning Commission of the City of Mequon, Ozaukee County, Wisconsin, in regard to the premise located in Section __, Range 21 East, in Township 9 North, Ozaukee County, State of Wisconsin, further described as follows:

LEGAL DESCRIPTION

Exhibit A-1

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statues, provide that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the Planning Commission of the City of Mequon having determined that by reason of the particular nature, character, and circumstances of the proposed use, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, **IT IS GRANTED**, subject to compliance with the terms and conditions hereinafter stated that the Premises may be used for the purpose of three story RCAC.

GRANTED by action of the Planning Commission of the City of Mequon this 8th day of February 2016.

Dan Abendroth, Mayor, Planning Commission Chairperson

Acknowledgment:

STATE OF WISCONSIN))SS
 OZAUKEE COUNTY)
 Personally came before me, this ____ day of _____, 2016, the above named Dan Abendroth, Mayor, to me known to be the person who executed the foregoing instrument and acknowledged the same.

 Notary Public, Ozaukee County, Wisconsin
 My Commission (expires) _____

Planning Commission Secretary

Acknowledgment:

STATE OF WISCONSIN))SS
 OZAUKEE COUNTY)
 Personally came before me, this ____ day of _____, 2016, the above named _____, Planning Commission Secretary, to me known to be the person who executed the foregoing instrument and acknowledged the same.

 Notary Public, Ozaukee County, Wisconsin
 My Commission (expires) _____

RETURN TO:

City of Mequon
 11333 North Cedarburg Road 60W
 Mequon, WI 53092

PARCEL NO.:

The **CONDITIONS** of this Grant are:

1. This grant shall become effective upon the execution and recording by the owners and operators of the Premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. This grant shall expire and become void unless, pursuant to the building and zoning codes of the City, the approved use is commenced or the building permit is obtained within twelve (12) months of the date of Planning Commission approval noted above, or actual construction is commenced within twelve (12) months of the date on which the building permit was issued.
3. This grant is subject to amendment and termination in accordance with the provisions of the Zoning Code of this municipality.
4. Construction and operation of the use granted shall be in strict conformity to the approved site, building, and operations plans filed in connection with the Petition for this Grant, and annexed hereto.
5. Any of the conditions of this Grant which would normally be the responsibility of tenants of the Premises shall be made a part of their lease by the Owner, which lease shall contain provisions for posting of the pertinent conditions to notify employees thereof.
6. This grant shall automatically be null and void if this use is discontinued for a period of twelve (12) months.
7. The Grantee and its successors in interest shall hold the City of Mequon harmless from any claims or losses to the City or its residents including reasonable attorney fees arising from or related to use of the facilities.
8. Any change to the approved use or change to the building or site plan will require an amendment to the Conditional Use. Minor changes to the building and site plan shall be approved by the Department of Community Development.
9. **Conditions on the Operations:**
 - a. Hours of operation: 24 hours
 - b. Performance standards relating to parking, noise, vibration, odor, smoke, dust, and light: As per City ordinance and as further designated under letter (e.) below.
 - c. Water supply requirements:
City Water
 - d. Provisions for sewage disposal:
City Sewer
 - e. Other:
 - If the conditional use shall become hazardous, harmful, noxious, offensive or a nuisance to the surrounding neighborhood, or if material problems shall arise with respect to noise, traffic circulation, ingress and egress, parking, unenclosed storage, lighting, maintenance, or any other condition which shall materially threaten health or safety or to become a nuisance condition, the Grantee shall correct or improve such condition, and toward that end, the Planning Commission, after public hearing, may alter, amend or add reasonable additional Conditional User Grant conditions in order to ameliorate such effects, or in the case of violation of the Conditional Use Permit, may revoke the Conditional Use Grant.
 - If, despite efforts to prescribe conditions which render the conditional use harmonious in the surrounding neighborhood, problems shall arise with respect to noise, traffic circulation, ingress and egress, parking, unenclosed storage, lighting, maintenance, or any other condition which shall materially threaten the peace and enjoyment of neighboring properties, or shall become hazardous, harmful, noxious, offensive or a nuisance to the surrounding neighborhood, or shall threaten health or safety, the Grantee shall correct or improve such condition, and toward that end, the Planning Commission, after public hearing, may alter, amend or add reasonable additional Conditional User Grant conditions in order to ameliorate such effects, and in the case of violation of the Conditional Use Permit, may revoke the Conditional Use Grant.
10. **Conditions of the structures:**
 - a. Site Plan: As per attached Exhibit A
 - b. Landscaping Plan: As per attached Exhibit B.
 - c. Elevations: As per attached Exhibit C.
 - d. Sign: As on file with Community Development Department, City of Mequon
 - e. Floor Plan: As on file with Community Development Department, City of Mequon
 - f. Exterior lighting of the site and building: As per Exhibit A
 - g. Fence / Wall / Dumpster plan details: As per Exhibit A
 - h. The building shall comply with the building code.

Conditional Use Grant

- 11. **Conditions on the site:**
 - a. Street access (number, location, design): As per attached Exhibit A
 - b. Off-Street Parking (location and design including screening thereof): As per attached Exhibit A.
 - c. Outside storage of materials, products or refuse (location and screening thereof): As per attached Exhibit A
 - d. Parking, exterior lighting of the site, location design and power:
Any changes subject to Planning Commission approval.
 - e. Other:

Owner

Acknowledgment:

STATE OF WISCONSIN)

)SS

OZAUKEE COUNTY)

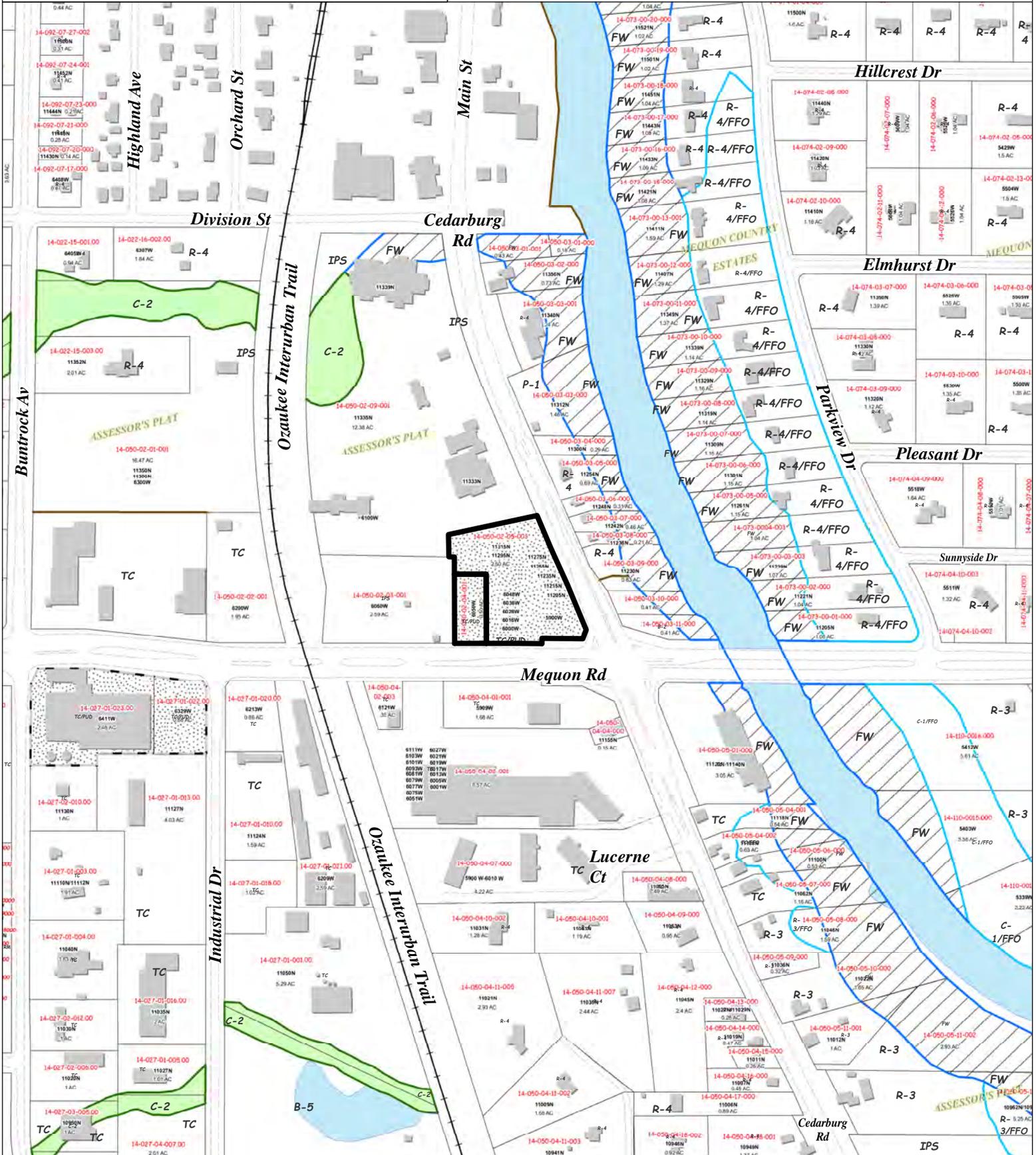
Personally came before me, this ____ day of _____, 2016, the above named _____, Owner, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Ozaukee County, Wisconsin

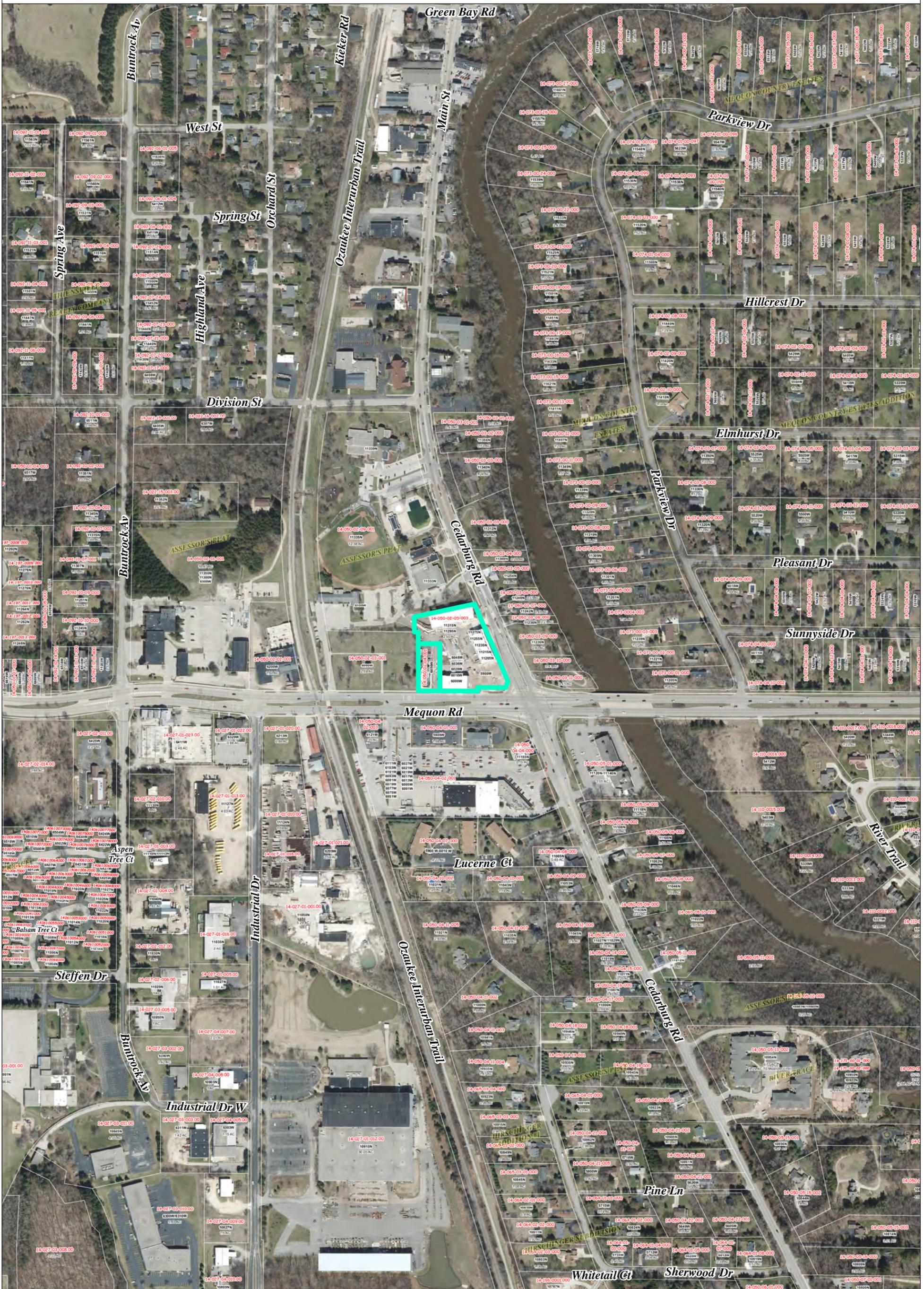
Receipt of a true Copy of this instrument on behalf of the petitioner acknowledged the _____ day of _____, 2016

ITEM #6 - Mequon Town Center LLC

AC	Arrival Corridor	LTD	Limited Use
A-1	Agricultural Preserve	OA	Agricultural Overlay
A-2	General Agricultural	PUD	Planned Unit Development Overlay
B-1	Neighborhood Business	P-1	Park & Recreation
B-2	Community Business	R-1	Single-Family Residential (5 Ac. Min.)
B-3	Office & Service Business	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-4	Business Park	R-2	Single-Family Residential (2.0 Ac. Min.)
B-5	Light Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-6	Rural Industrial	R-3	Single-Family Residential (1.0 Ac. Min.)
B-7	Rural Business	R-4	Single-Family Residential (3/4 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
C-2	General Conservancy	R-6	Single-Family Residential (4 du/Ac)
CGO	Central Growth Overlay	RM	Multi-Family Residential
FFO	Flood Fringe Overlay	TC	Town Center
FW	Floodway	TDR	Transfer of Development Rights
IPS	Institutional & Public Service		



ITEM #6 - Mequon Town Center LLC



STAFF REPORT

To: Mequon Planning Commission

Prepared by: Jac Zader

Agenda Item: **6**

Date: February 8, 2016

General Information:

Applicant:

Mequon Town Center LLC

Status of Applicant:

Property Owner

Requested Action:

Development Agreement
Amendment

Existing Zoning:

Town Center (TC)

Land Use Plan:

Town Center (TC)

Lot Size:

3 acres

Location:

11205-11315 N Cedarburg Road and
5900-6048 W Mequon Road

Background: The applicant requests development agreement amendment for the Mequon Town Center project located at the intersection of Mequon Road and Cedarburg Road. This will be the fourth amendment to the development agreement and is related to the deadline for overall completion of the project.

Development Agreement Amendment

The current development agreement states that the completion of Phase II of the project (Café Hollander) shall be done no later than February 29, 2016. The applicant is now requesting that the completion date of Phase II be June 30, 2016. This date coincides with the overall completion of the project that includes all final landscaping.

Staff Recommendation: Planning staff recommends **approval** of the development agreement amendment subject to the following conditions:

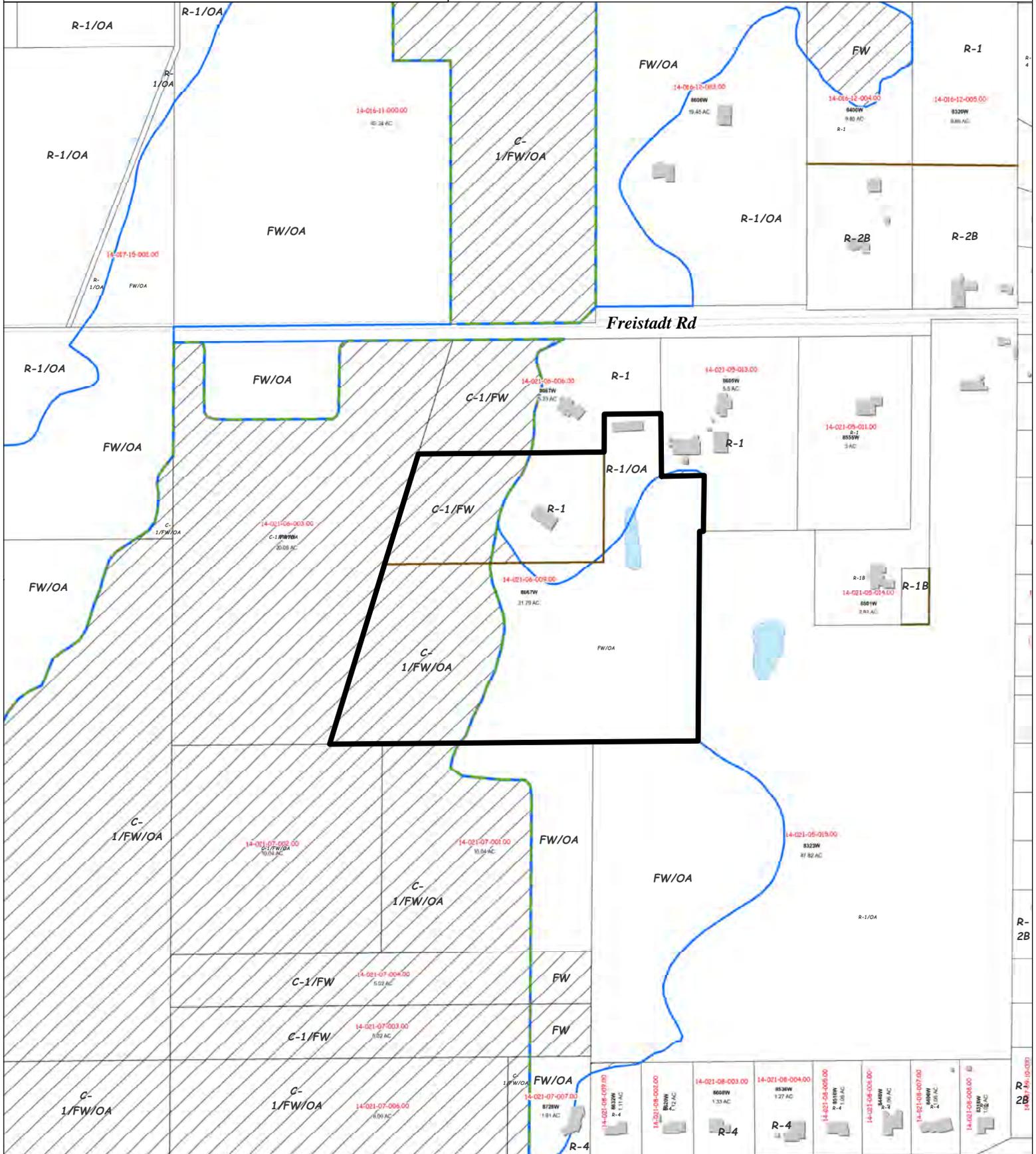
1. Phase II of the project shall be complete by June 30, 2016.
2. Common Council approval is required for the amendment.

Prepared By: _____

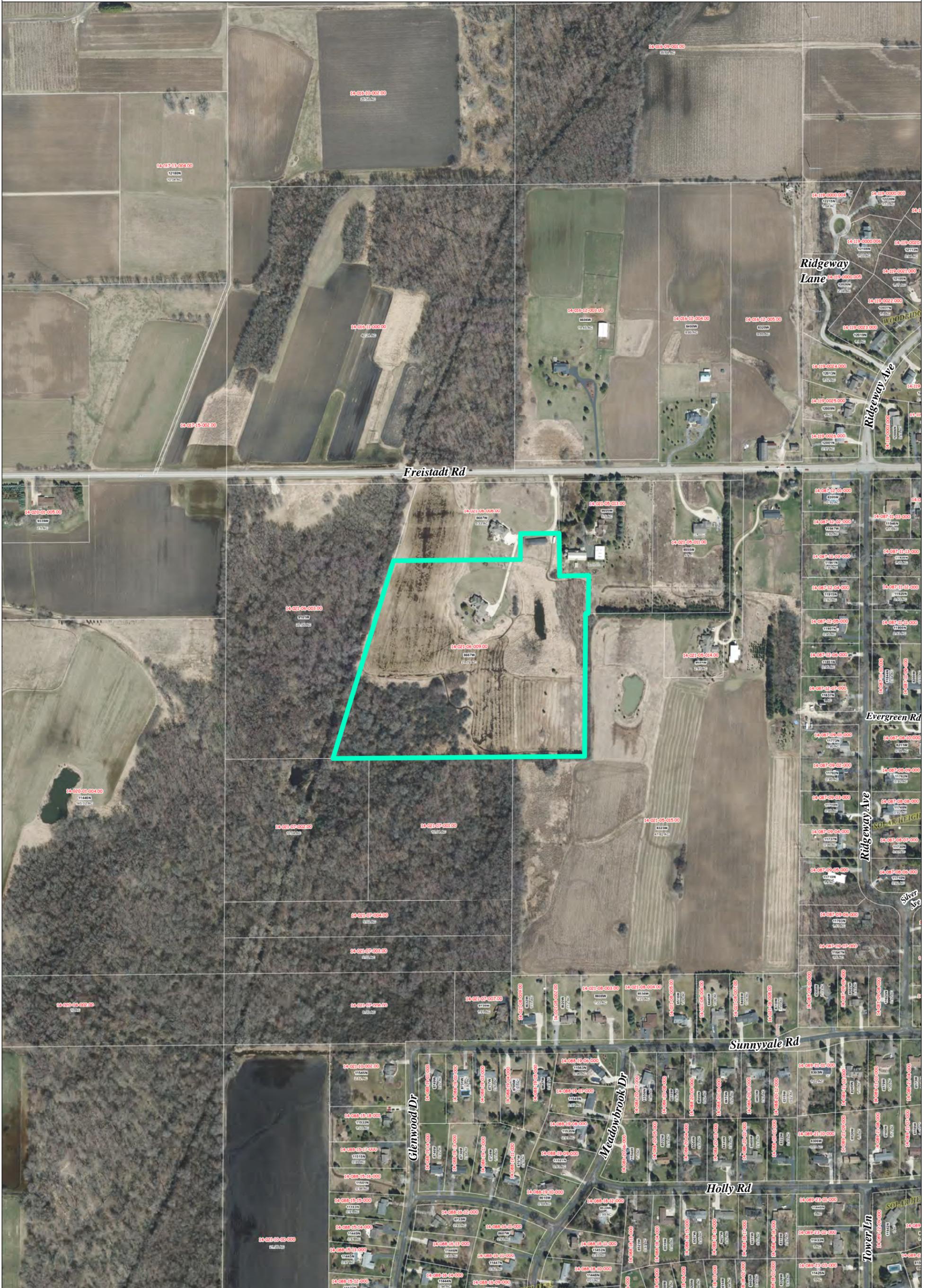
ITEM #7 - Dan Mikolajczak

- AC Arrival Corridor
- A-1 Agricultural Preserve
- A-2 General Agricultural
- B-1 Neighborhood Business
- B-2 Community Business
- B-3 Office & Service Business
- B-4 Business Park
- B-5 Light Industrial
- B-6 Rural Industrial
- B-7 Rural Business
- C-1 Shoreland/Wetland Conservancy
- C-2 General Conservancy
- CGO Central Growth Overlay
- FFO Flood Fringe Overlay
- FW Floodway
- IPS Institutional & Public Service

- LTD Limited Use
- OA Agricultural Overlay
- PUD Planned Unit Development Overlay
- P-1 Park & Recreation
- R-1 Single-Family Residential (5 Ac. Min.)
- R-1B Single-Family Residential (2.5 Ac. Min.)
- R-2 Single-Family Residential (2.0 Ac. Min.)
- R-2B Single-Family Residential (1.5 Ac. Min.)
- R-3 Single-Family Residential (1.5 Ac. Min.)
- R-4 Single-Family Residential (3/4 Ac. Min.)
- R-5 Single-Family Residential (1/2 Ac. Min.)
- R-6 Single-Family Residential (4 du/Ac)
- RM Multi-Family Residential
- TC Town Center
- TDR Transfer of Development Rights



ITEM #7 - Dan Mikolajczak



STAFF REPORT

To: Mequon Planning Commission

Prepared by: Jac Zader

Agenda Item: **7**

Date: February 8, 2016

General Information:

Applicant:

Dan Mikolajczak

Status of Applicant:

Owner

Requested Action:

Construction of an accessory structure in excess of 1,000 square feet

Existing Zoning:

R-1 (Rural Residential)

Land Use Plan:

Residential 5 acre

Lot Size:

20 acres

Location:

8677 W Freistadt Road

Background: The applicant is requesting Planning Commission approval for a 1,880 square foot agricultural building at 8677 W Freistadt Road. Per Section 58-234 (b)(f) of the zoning code, Planning Commission approval is required for all agricultural structures that exceed 1,000 square feet. In November of 2015, the applicant was approved for an accessory structure under the condition that the building was used “primarily” for agricultural purposes. Shortly thereafter, the City Attorney issued an opinion that stated that based on the code; the building had to be used solely for agricultural purposes. The Commission reconsidered the approval at the December meeting and after much discussion tabled the matter. The updated submittal includes a two hour fire wall between the personal use portion of the building and agricultural portion, effectively creating two separate but attached buildings. The existing 2,268 square foot structure that will be remodeled and used for personal use received approval from the Architectural Review Board on January 11, 2016.

Accessory Structure:

There is an existing 2,268 square foot accessory structure that will be remodeled as part of the proposal along with a 1,880 square foot addition. The proposed accessory structure is shown to be constructed with steel wall panels and a steel panel roof (see attached elevations). There are overhead doors shown on the north, south and east elevations of the building. The overall height of the building is shown to be approximately 21 feet. There is an existing wetland to the south of the proposed building that requires a 50 foot setback. The applicant has provided an updated delineation that shows the building will be 56 feet from existing wetland.

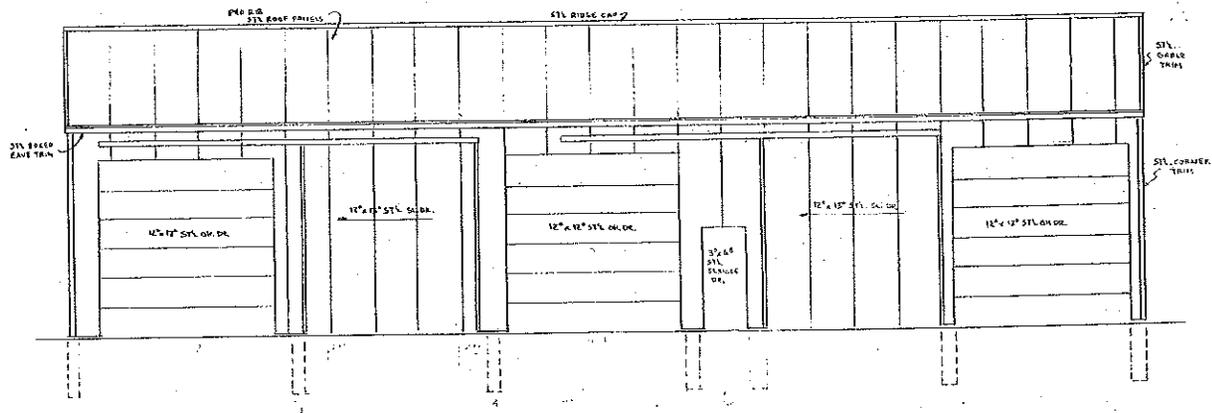
STAFF REPORT

Staff Recommendation:

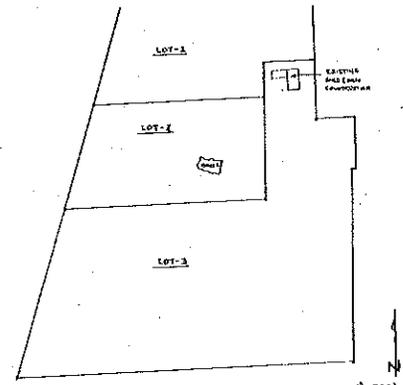
Since the design of the proposed structure is consistent with prior approvals of agricultural structures and appears to be harmonious with the surrounding area, Planning Staff recommends **approval** based on the following condition(s):

1. The 1,880 square foot addition shall be used for agricultural related equipment and activities.
2. Any proposed lighting for the building shall be approved by staff.
3. Final staff review and approval of site, floor and elevation plans.

Prepared By: _____

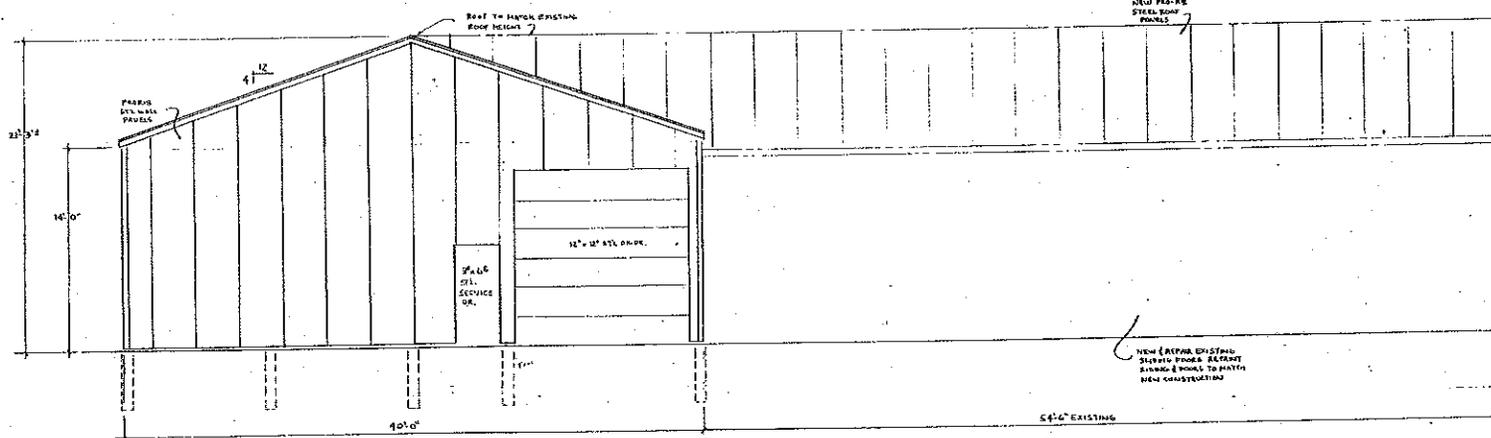


LEFT ELEVATION (EAST)



SITE PLAN

1" = 200'

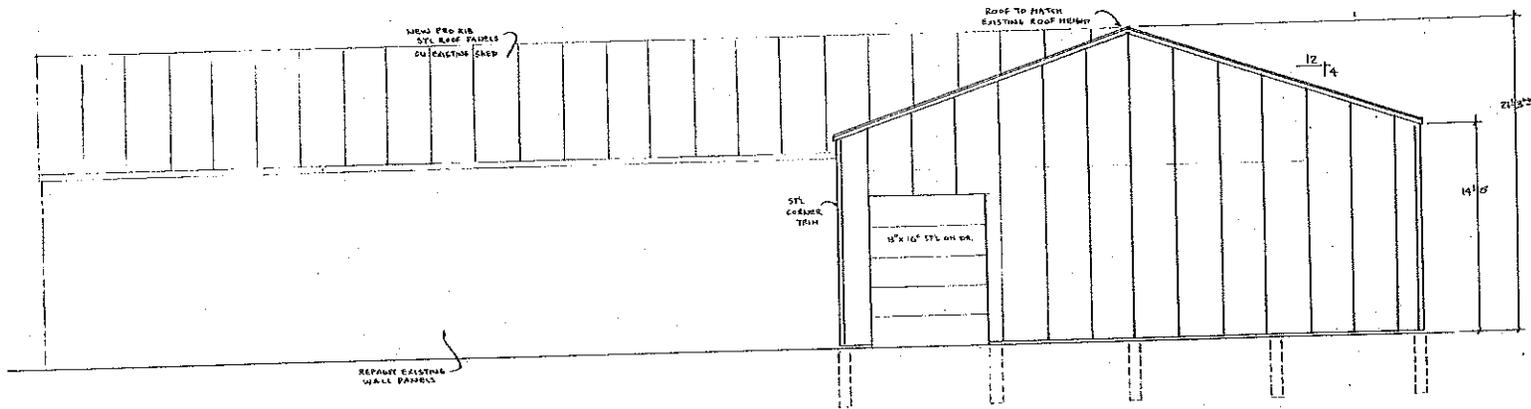


FRONT ELEVATION (NORTH)

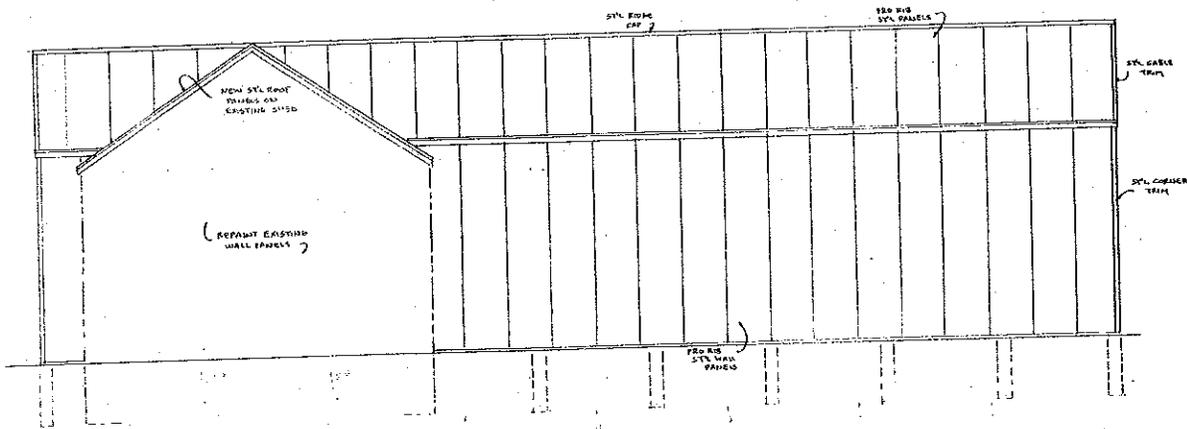
NEW & REPAIR EXISTING STEEL FROM EXISTING FRAME & PANELS TO MATCH NEW CONSTRUCTION

54'0" EXISTING

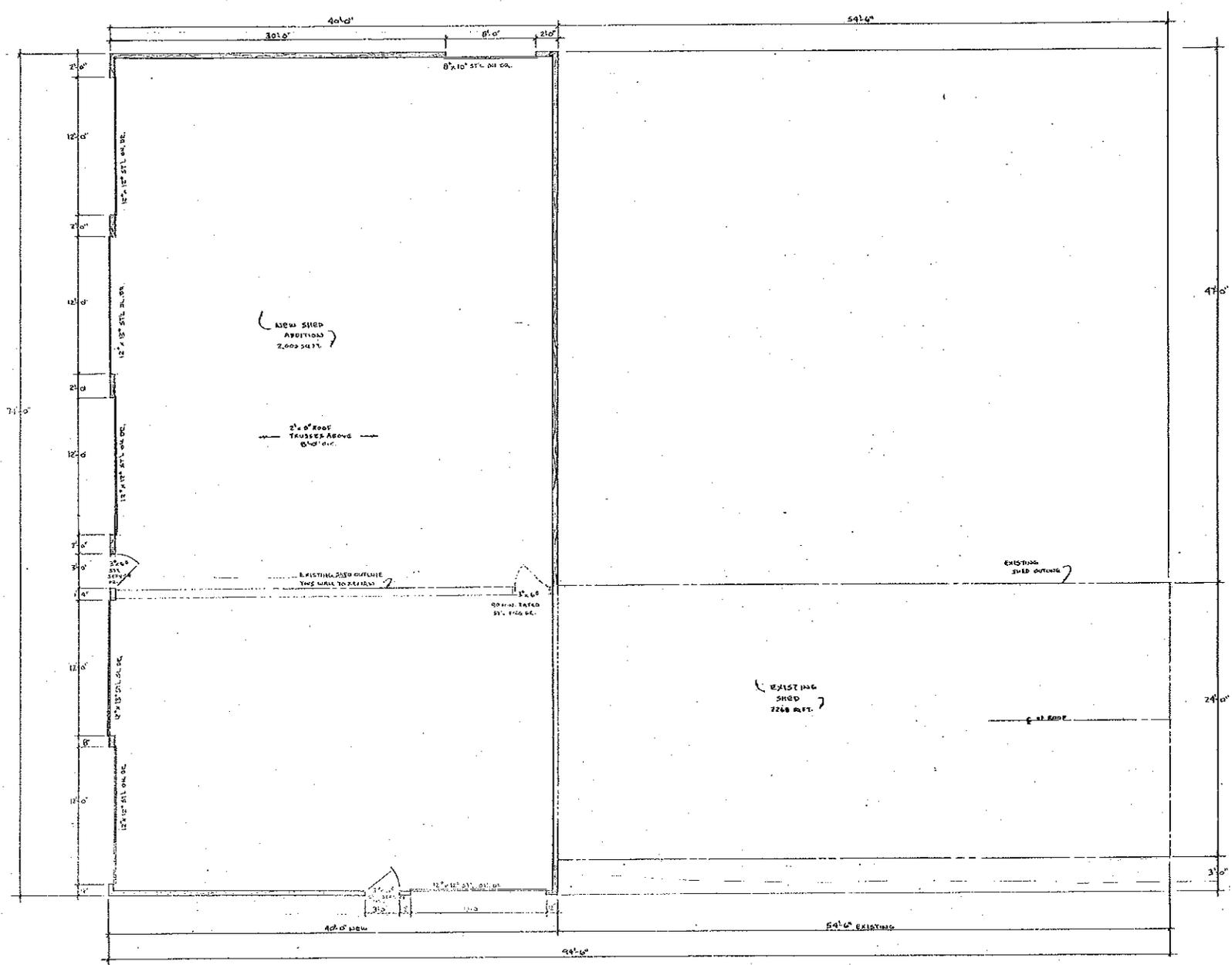
PROPOSED SHED REPAIR AND ADDITION TO BUILDING LOCATED AT 2 6077 W. FREESIA RD. ROAD MEQUON, WI. 53071



REAR ELEVATION (SOUTH)



RIGHT ELEVATION (WEST)

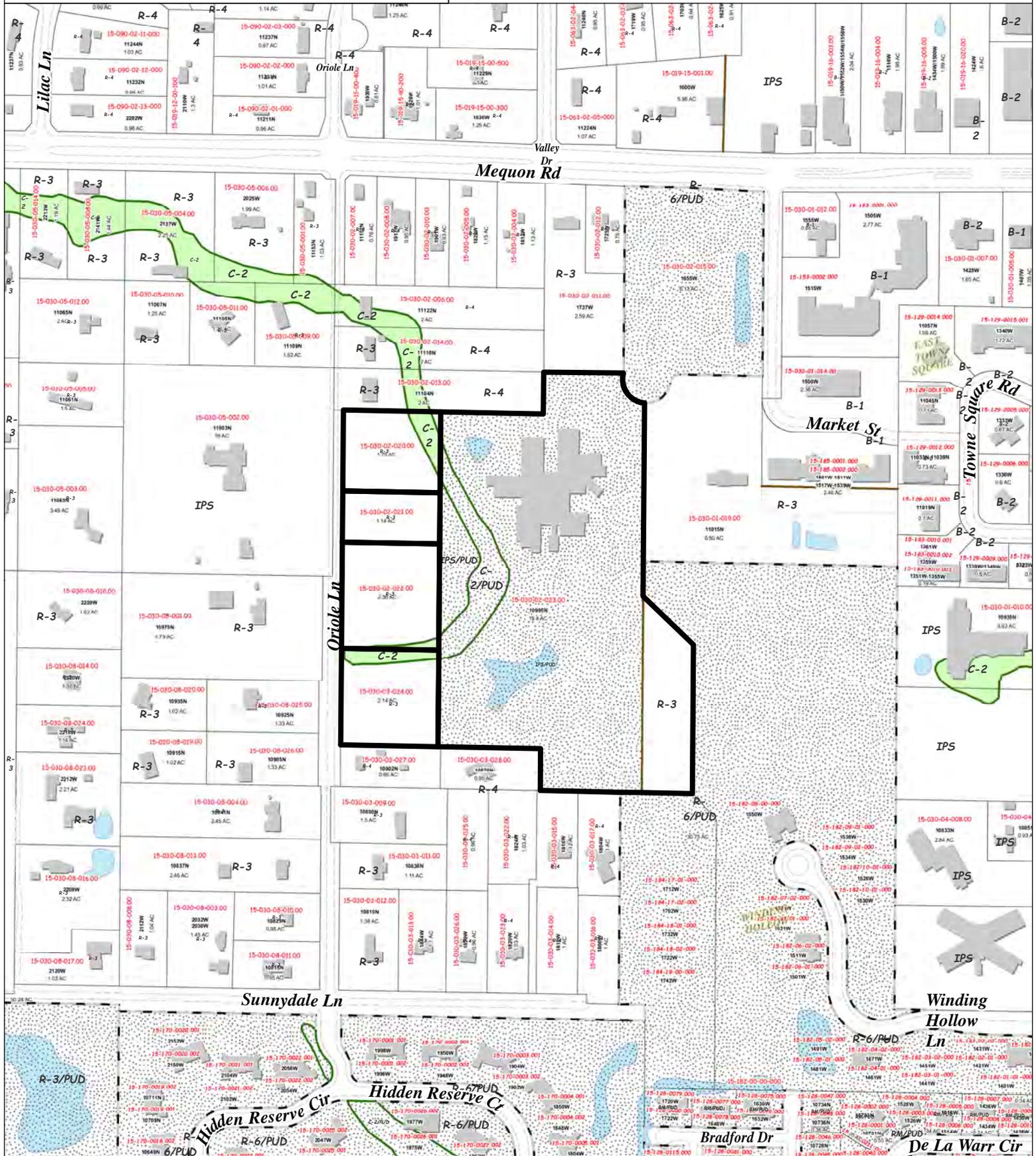


FLOOR PLAN
 TOTAL NEW SQ. FOOTAGE = 4268

ITEM #8 - Tom Zabjec for Lakeside Development Company /Oriole Lane

- AC Arrival Corridor
- A-1 Agricultural Preserve
- A-2 General Agricultural
- B-1 Neighborhood Business
- B-2 Community Business
- B-3 Office & Service Business
- B-4 Business Park
- B-5 Light Industrial
- B-6 Rural Industrial
- B-7 Rural Business
- C-1 Shoreland/Wetland Conservancy
- C-2 General Conservancy
- CGO Central Growth Overlay
- FFO Flood Fringe Overlay
- FW Floodway
- IPS Institutional & Public Service

- LTD Limited Use
- OA Agricultural Overlay
- PUD Planned Unit Development Overlay
- P-1 Park & Recreation
- R-1 Single-Family Residential (5 Ac. Min.)
- R-1B Single-Family Residential (2.5 Ac. Min.)
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- R-5 Single-Family Residential (1/2 Ac. Min.)
- R-6 Single-Family Residential (4 du/Ac)
- RM Multi-Family Residential
- TC Town Center
- TDR Transfer of Development Rights



STAFF REPORT

To: Mequon Planning Commission

Prepared by: Jac Zader

Agenda Item: **8**

Date: February 8, 2016

General Information:

Applicant:

Lakeside Development

Status of Applicant:

Agent

Requested Action:

Rezoning Recommendation
Concept Plan

Existing Use:

Vacant

Existing Zoning:

R-3 (Single Family 1 Acre)
IPS (Institutional)
PUD (Planned Unit Development)
C-2 (General Conservancy)

Proposed Zoning:

R-3 (Single Family 1 Acre)
C-2 (General Conservancy)
PUD (Planned Unit Development)

Land Use Plan:

Residential 1 Acre
Critical Environmental

Lot Size:

10 acres

Location:

Land immediately south of 11104
Oriole Lane.

Background: The applicant is requesting a rezoning recommendation and concept plan approval for a nine unit single family condominium development on 10 acres of land located immediately south of 11104 Oriole Lane. Currently, there are four parcels of land along Oriole Lane that add up to roughly 7.5 acres (see attached Certified Survey Map). In order to have the legal standing to apply for a Planned Unit Development a minimum of 10 acres is required. The applicant is proposing a land swap with the owners of the Sarah Chudnow facility which would net the 10 acres is necessary to have the legal standing to apply for a Planned Unit Development. The Sarah Chudnow campus is currently zoned IPS (Institutional) with a PUD Overlay. The net loss of acreage will require a zoning change for that parcel as well (see next item).

STAFF REPORT

Proposed Yield Plan:

The attached yield plan shows nine lots conforming to the R-3 (Residential 1 acre) zoning district. Several of the lots would require an encroachment into the wetland setback which is allowed provided that all post construction run off is treated prior to its release into the wetlands.

Proposed Concept Plan:

According to the applicant, the goal of the proposed development is to provide high end homes for those who are looking to downsize and do not want to maintain a large lot area. The applicant would maintain a theme with similar elements on each building and would construct all the units (see attached models). The proposed development would centralize all buildings in the center of the site to lessen the impact of the development on the surrounding area.

The concept plan shows nine single family condominiums accessed by a private road from Oriole Lane. The plan would require a small portion of the existing wetlands to be filled which will require approval from the DNR. The proposed buildings are also shown within the 50 foot wetland setback which would require all post construction run off is treated prior to its release into the wetlands. The applicant is showing a number of rain gardens on the site which will serve as a buffer to the wetlands. Deviations to the wetland setback and the use of rain gardens will also require approval from the DNR. While staff is supportive of the concept plan in general, units eight and nine identified on the plan seem out of character with the rest of the development and will require additional wetlands to be filled. Staff feels there is space available to add one or both of the units along the main driveway without impacting additional wetlands while maintaining the required 30 foot separation between buildings. If space is not available along the main driveway, staff would recommend a reduction in the overall number of units.

Site Conditions:

City Forester, Ken Baker, has walked the site to identify specimen trees and has determined there are specimen trees located on the site many are in or adjacent to the existing wetlands. Based on the size of the parcel and the number of trees on the site, he was unable to determine how many trees will be impacted by the proposed development. Staff recommends the applicant field locate all specimen trees and identify their location on the proposed site plan prior to Planning Commission action on the rezoning.

The site also contains a large wetland complex which was delineated by TRC Environmental on September 24, 2014 (see attached report). As stated above, the proposed concept plan includes the filling of a small portion of the wetland and reduced wetland setbacks. Since DNR approval of the fill and setback deviations, staff recommends that these issues be resolved prior to Planning Commission action on the rezoning.

Engineering Report:

James Keegan, Deputy Director of Engineering, has reviewed the application and has the following comments:

STAFF REPORT

The concept plan details a nine lot development on the east side of Oriole Lane, southwest of the Sarah Chudnow Community Campus. The proposed access roadway connection is made to Oriole Lane. The proposed development includes nine homes and the additional traffic generation will not warrant signals at the intersection of Oriole Lane and Mequon Road. The private roadway connection to Oriole Lane should include a boulevard entrance and acceleration/deceleration lanes, as required by the City of Mequon Standard Specifications for Land Development.

The developer has completed wetland delineations and there are wetlands present on the site. The wetlands have been designated by an assured delineator as moderately susceptible. Per the Wisconsin Department of Natural Resources (WDNR) the wetland protective area, or setback, should be 50 feet for moderately susceptible wetlands, but can be reduced with WDNR approval. The protective area applies to any direct discharge to a wetland from an untreated source. The developer has indicated that the site will utilize rain gardens to provide storm water treatment prior to discharge to the wetland areas. The proposed plan and the reduction in wetland protective area are subject to the approval of WDNR. Any filling or disturbance of the wetlands is subject to WDNR approval.

The proposed development is within the sewer service area and connection to the public utility is required. As a new development and as a condition of approval, the development must connect to the public water main. Water service is currently available along the west side of Oriole Lane

The site proposes an increase in impervious surface in excess of one half acre and therefore requires a storm water management plan (SWMP). The SWMP requires both City and MMSD approval. The concept plan shows the location of several storm water management facilities. There is existing storm water facility at the south east corner of the site that serves the Sarah Chudnow Community Campus. An easement is required to allow for the future maintenance of this pond, as required, by the Sarah Chudnow Community Campus.

The site proposes land disturbance in excess of one acre, therefore a City erosion control permit is required. Evidence of the WDNR required WRAPP permit shall also be provided for the site.

Staff Recommendation:

Planning staff recommends the rezoning recommendation be **tabled** until the following issues are resolved:

1. DNR approval of the wetland fill and determination of the required setback.
2. Identification of all specimen trees being impacted by the proposed development.

If the Commission approves the rezoning recommendation, staff does recommend the following conditions:

STAFF REPORT

1. There shall be a minimum 50 foot setback from Oriole Lane and a 25 foot setback from the interior private road.
2. There shall be a minimum 30 foot separation between buildings.
3. A stewardship plan for the dedicated open space areas shall be prepared by the applicant and is subject to Planning Commission review and approval.
4. The development shall comply with preliminary plat, development agreement, and final plat requirements.
5. Architectural design of residential buildings shall comply with the Architectural Board's publication entitled "Guidelines for Residential Structures" and are subject to the Architectural Review Board.
6. Street trees are subject to the approval of the Tree Board and Planning Commission.
7. Street lighting, if proposed, is subject to the approval of the Planning Commission.
8. Entryway signage and landscaping is subject to the approval of staff.
9. Fire Department approval of the number and location of fire cisterns, if needed.
10. The PUD zoning shall not go into effect until the boundary line adjustment is completed.
11. DNR approval of the wetland fill and determination of the required setback.
12. Identification of all specimen trees being impacted by the proposed development.
13. Any substantial change to the general concept plans illustrated in the attached exhibits shall require appropriate amendment to this ordinance.
14. The access roadway shall be privately owned and maintained.
15. The Development Agreement shall outline the Home Owners Association's responsibilities to maintain the private roadway.
16. The final road design shall be subject to the review and approval of Engineering and the Fire Departments.
17. The development will require the addition of a boulevard entrance, acceleration/deceleration lanes, and bypass lanes on Oriole Lane per the City of Mequon Standard Specifications for Land Development.
18. Engineering Department review and approval of grading, drainage, storm water management, and erosion control plans in conformance to City ordinances and the Standard Specifications for Land Development.
19. Approval of a storm water management plan for the site in conformance to City ordinances and MMSD Chapter 13, including execution of a Storm Water Facilities Maintenance and Easement Agreement.
20. An easement is required to allow the Sarah Chudnow Community Campus the ability to maintain the storm water pond located on the southeast portion of the proposed development.
21. Easements over existing and proposed drainageways with supporting declaration language requiring Home Owners Association maintenance.
22. Application for and approval of a City erosion control permit, subject to applicable

STAFF REPORT

fees and conditioned upon WDNR issuance of a WRAPP permit.

23. WDNR approval of the site plan and wetland protective area reduction.
24. As a condition of approval and issuance of the permit, the city engineer will require in accordance with City ordinance 58-677(b) that the applicant deposit an escrow or letter of credit to guarantee a good faith execution of the approved control plan and any permit conditions. The escrow / letter of credit shall be in an amount equal to 125% of the estimated cost of construction and maintenance of the storm water management practices and the City will release the portion of the Financial Guarantee less any costs incurred by the city to complete installation of practices, upon submission of a certification in accordance with 58-678(h).

Prepared By: _____

February 2, 2016

Ms. Kimberly R. Tollefson
Director of Community Development
1133 N. Cedarburg Road
Mequon, WI 53092

Dear Kim,

Lakeside Development Company is considering developing a twelve acre site south of Mequon Road and east of Oriole Lane. Enclosed is an Aerial Context Plan which depicts the site.

Lakeside Development has been developing, designing and building high end homes in southeastern Wisconsin and Door County for over 30 years. We were instrumental in the development of Mequon's StoneFields, The Preserve at Glen Oaks and in Grafton: Woodland Shores, the first conservation project on the bluff of Lake Michigan in excess of fifty acres.

As a result of these developments, Lakeside has established a number of clients who have an interest in downsizing yet desire to maintain the same attention to detail found currently in their homes. Additionally many of these clients are long time Mequon residents and would like to continue to reside here. Lakeside plans on designing and building all of the homes in the development. Enclosed are elevations we are considering.

We plan to maintain a theme utilizing similar elements on each building. Based on the response from our past clients this should be a very successful development for both Lakeside and the City. Approximately half of the proposed site is owned by the Mequon Park Corporation and the other half by the Mequon Jewish Campus, Inc. Both of which are nonprofit; not subject to property tax.

In summary we are seeking to rezone the site to allow this development which will fill a housing void and increase our property tax base. Please let me know if you have questions.

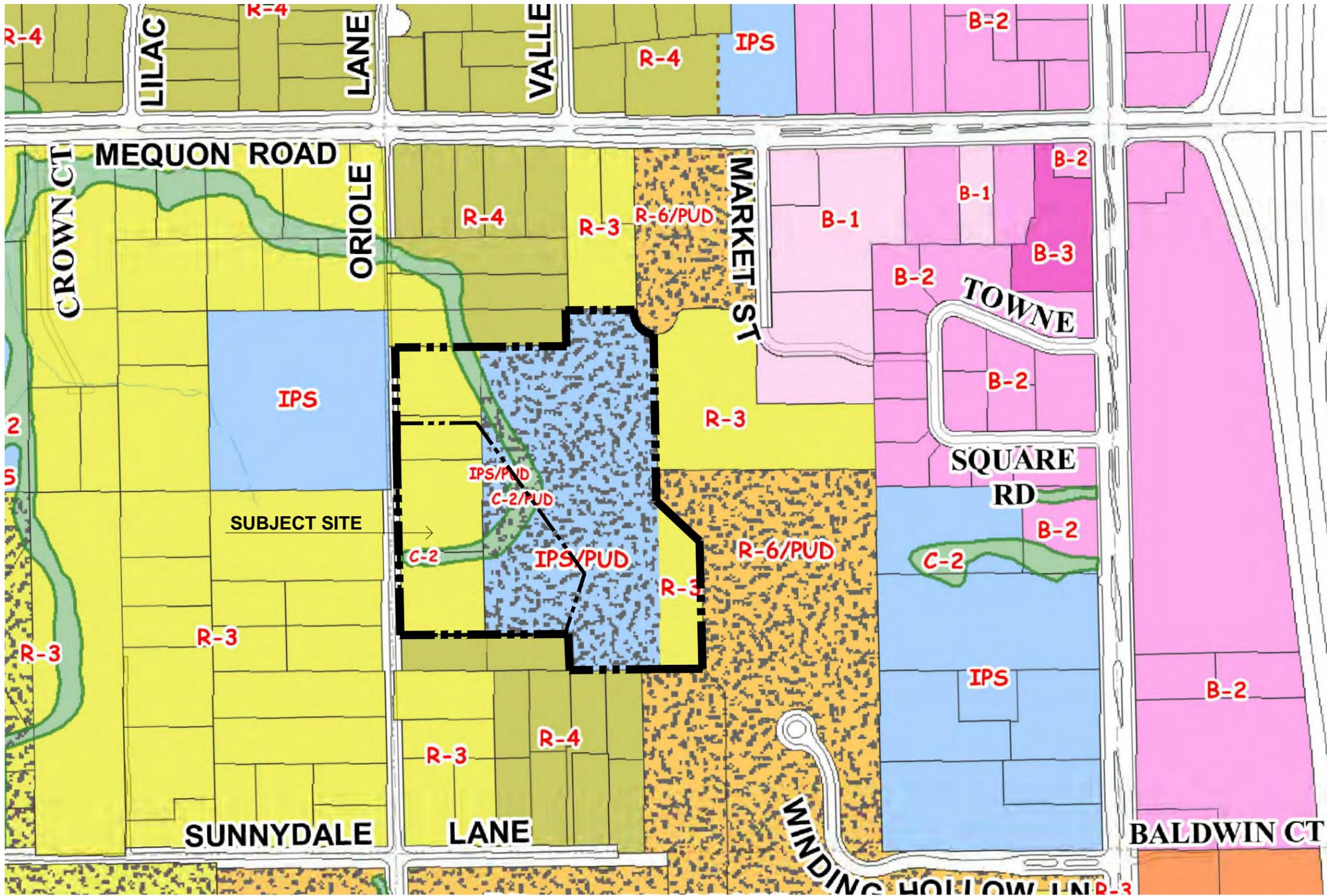
Respectfully,



Thomas A. Zabjek
President

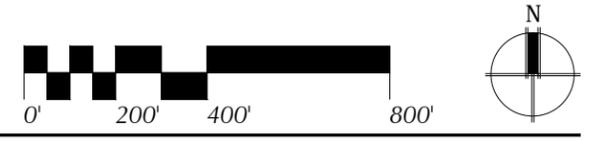
c: Jac Zader

enclosures



ORIOLE LANE DEVELOPMENT: Existing Zoning Map

Mequon, Wisconsin

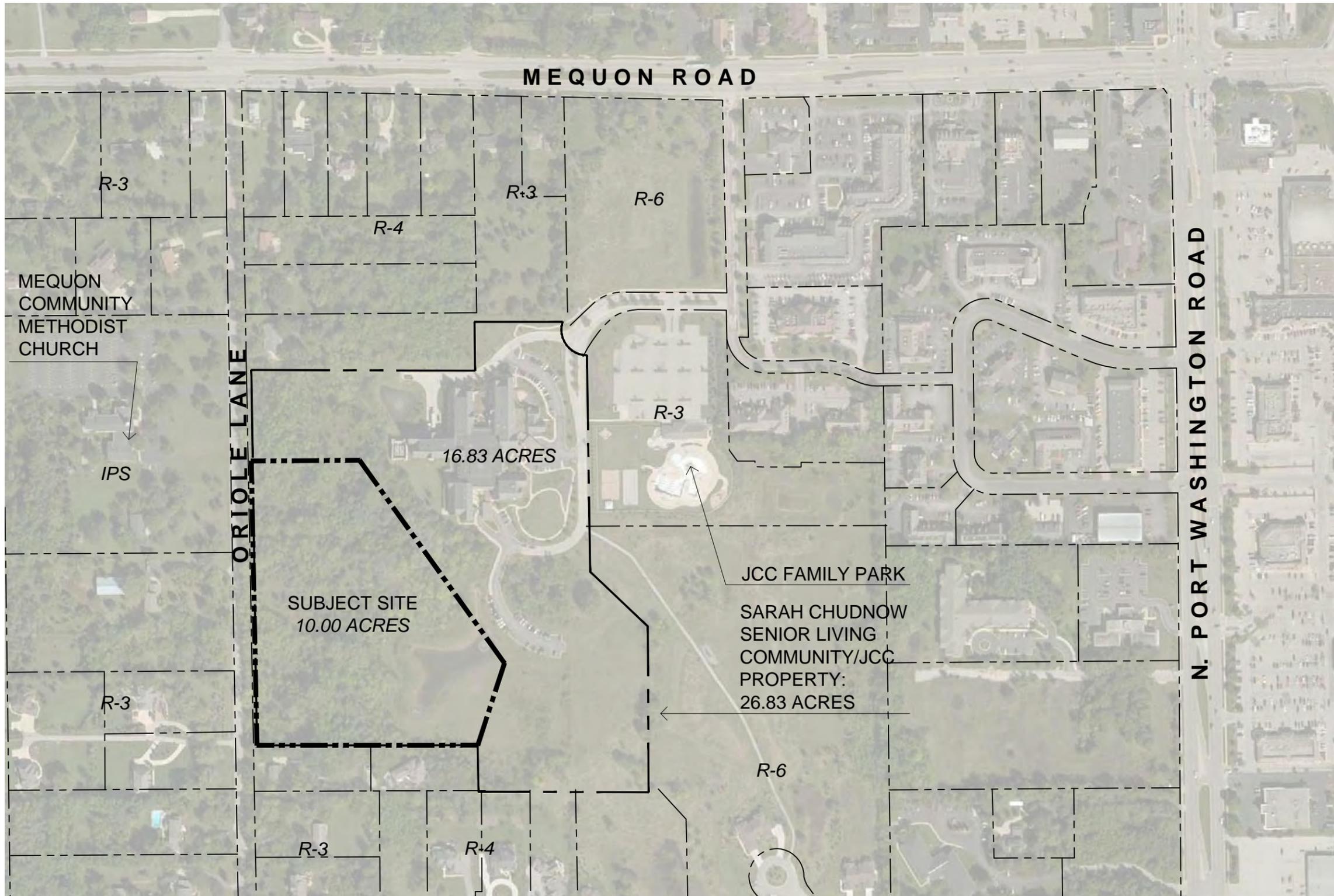


February 01, 2016



DESIGNED BY:
 Lakeside Development Company
 1500 W. MARKET ST.
 SUITE 200
 MEQUON, WI
 53092

L-1



ORIOLE LANE DEVELOPMENT: Aerial Context Plan

Mequon, Wisconsin

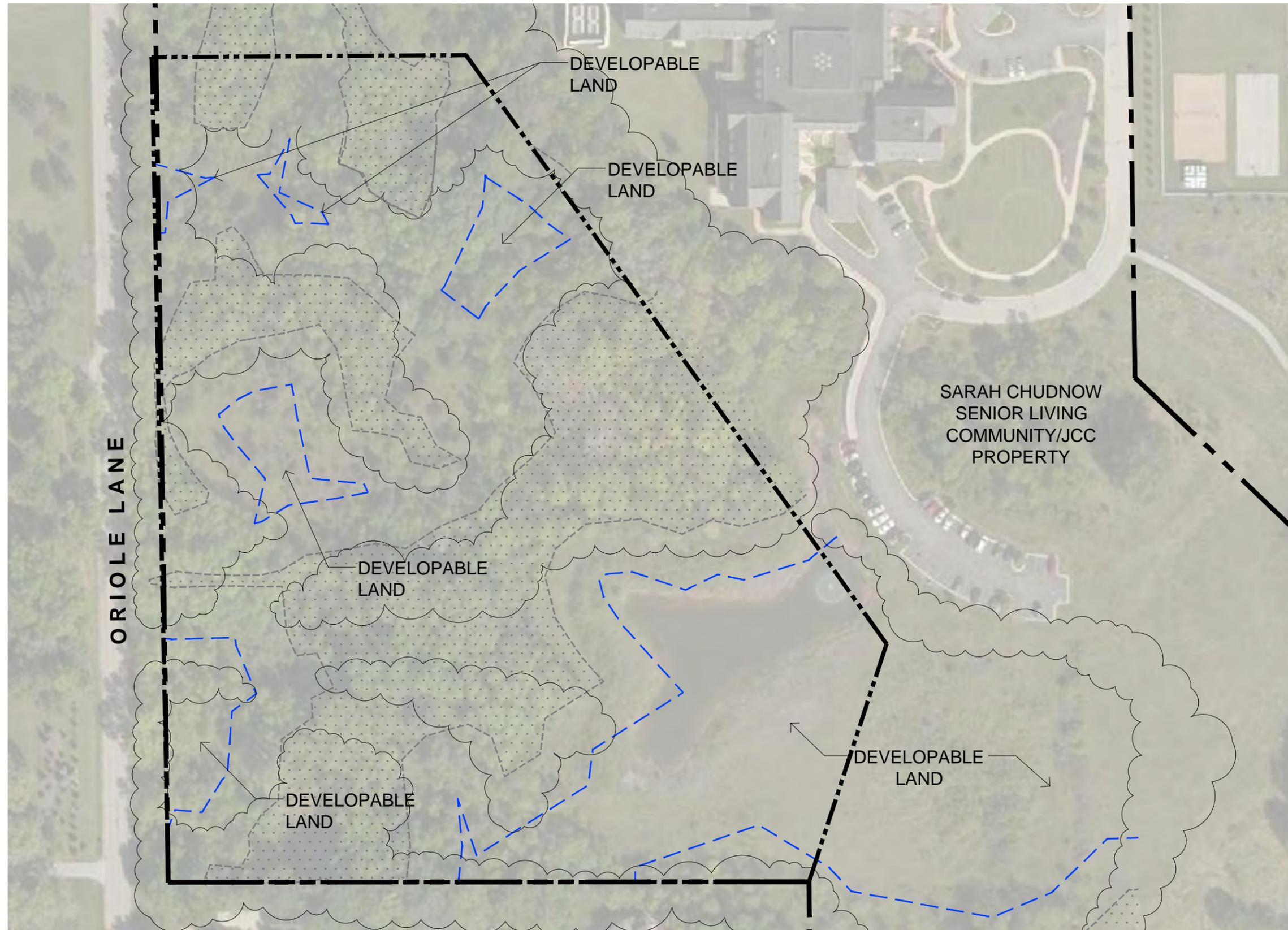


February 01, 2016



DESIGNED BY:
Lakecide Development Company
 1500 W. MARKET ST.
 SUITE 200
 MEQUON, WI
 53092

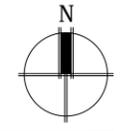
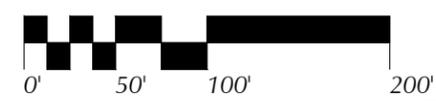
L-2



LEGEND:

-  Developable Land
-  Wetland
-  Wetland Edge

ORIOLE LANE DEVELOPMENT: Development Opportunities / Environmental Preservation Plan Diagram
 Mequon, Wisconsin



February 01, 2016



DESIGNED BY: Lakecide Development Company
 1500 W. MARKET ST., SUITE 200, MEQUON, WI 53092

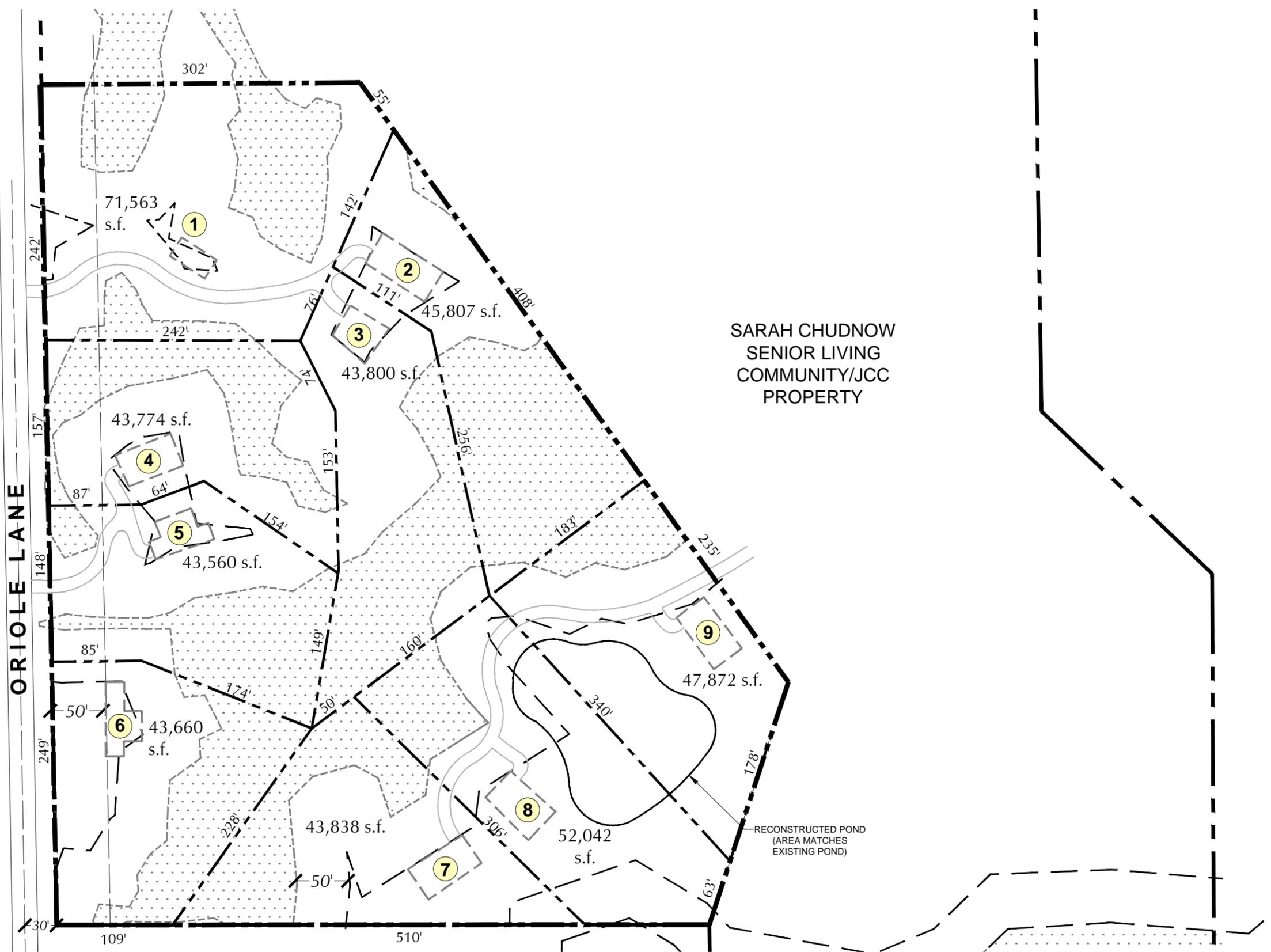
L-3

LEGEND:

-  Wetland
-  Building Envelope Area
-  Average 2,000 s.f. Prototypical Building Footprint
-  Wetland Edge
-  50' Wetland Buffer Setback

**10 ACRE SITE
R-3 ZONED YIELD PLAN:**

- 9 LOTS @ 1.00 AC.
- 150' AVERAGE LOT WIDTH (TYP.)
- BUILDING AREA SETBACKS:
50' FROM ORIOLE LANE
20' SIDE AND REAR YARD

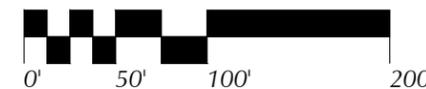


SARAH CHUDNOW
SENIOR LIVING
COMMUNITY/JCC
PROPERTY

* WETLAND DELINEATION REPORT
PROVIDED BY TRC SOLUTIONS

ORIOLE LANE DEVELOPMENT: R-3 Yield Diagram

Mequon, Wisconsin

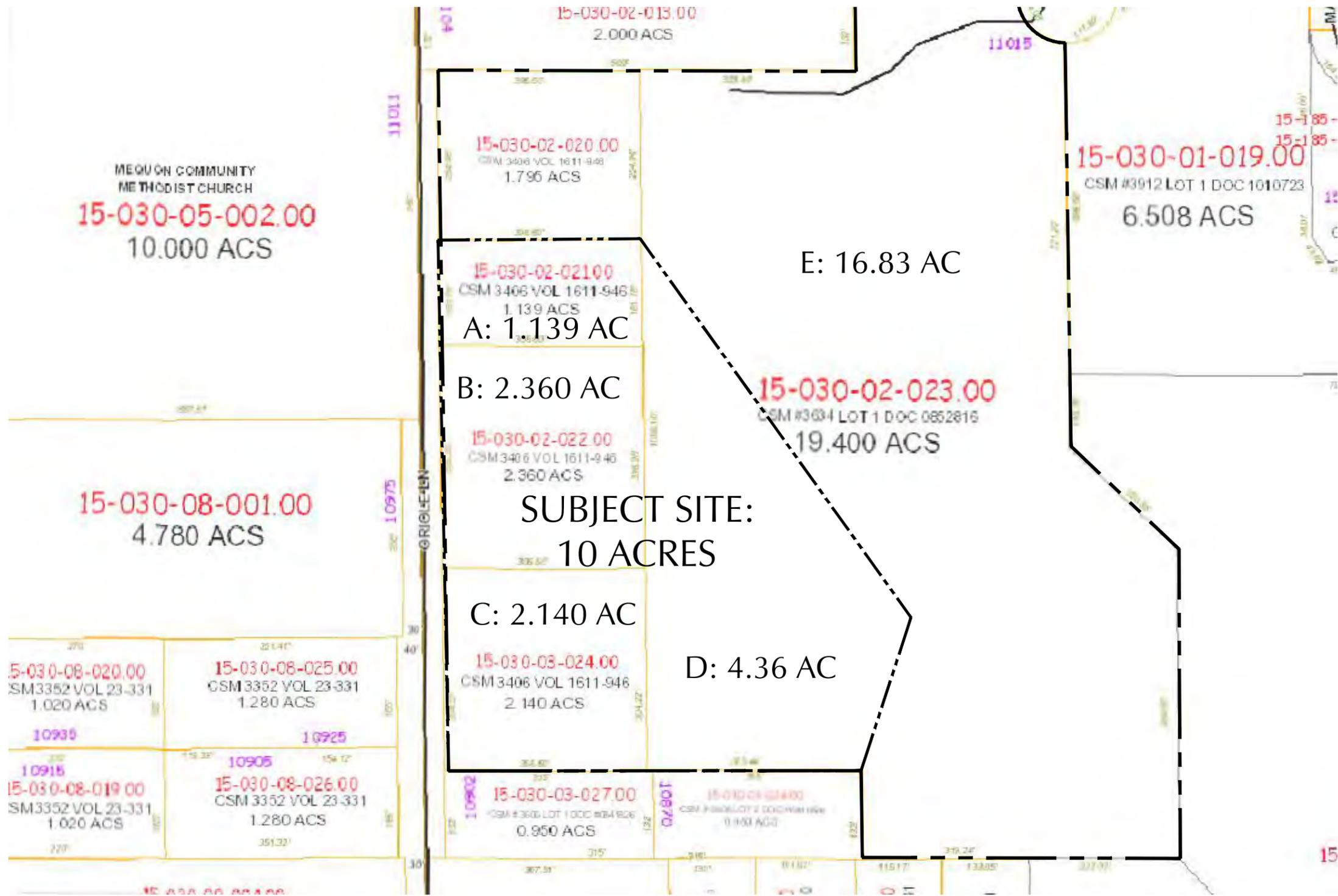


February 01, 2016



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Lakecicle Development Company
1500 W. MARKET ST.
SUITE 200
MEQUON, WI
53092

L-4

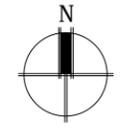
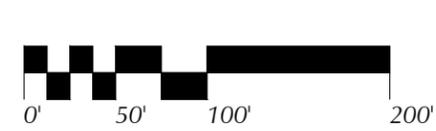


TOTAL AREA:
26.83 ACRES

* MAP TAKEN FROM OZAUKEE COUNTY GIS PORTAL

ORIOLE LANE DEVELOPMENT: Property Lines

Mequon, Wisconsin

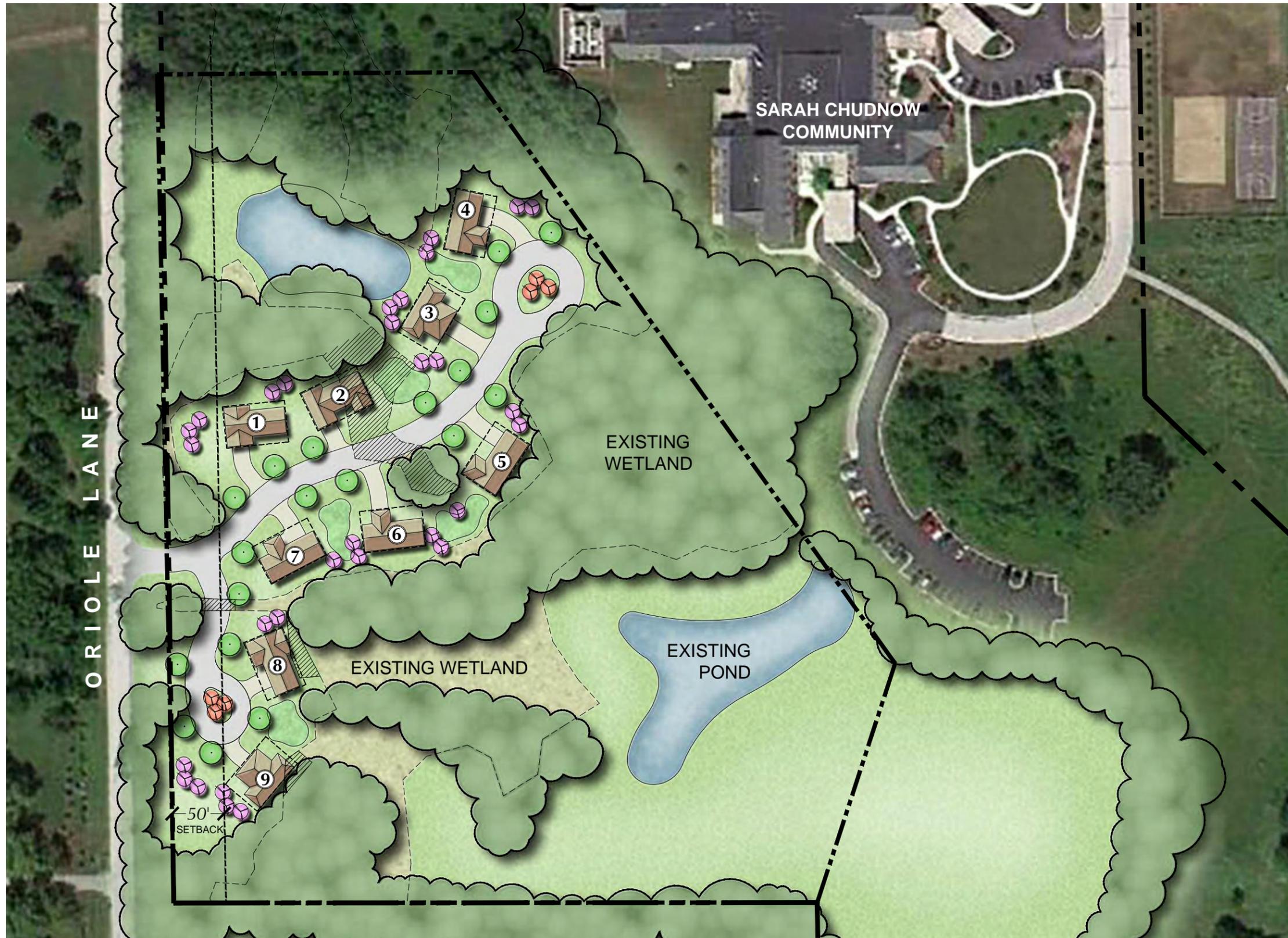


February 01, 2016



DESIGNED BY:
LakeSide Development Company
1500 W. MARKET ST.
SUITE 200
MEQUON, WI
53092

L-5

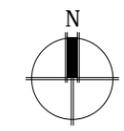
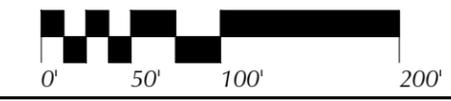


LEGEND:

-  Total Overall Sarah Chudnow Community Campus & JCC Property Area: 27.6 Acres
Sarah Chudnow Community Campus
-106 Units Existing
-Modified Property Area: 18.19 Acres
-  Residential Development
-10.0 Acres
-9 Homes
-  Proposed Home
(Within 40' x 60' Building Envelope;
(With 10' Min. Wetland Offset)
-  Rain Garden / Wetland Buffer
(5 Total)
-  Wetland Edge
-  Existing Wetland to Remain
-  Existing Wetland to be Mitigated
(10,000 Sq. Ft. or Less)

ORIOLE LANE DEVELOPMENT: Site Development Plan

Mequon, Wisconsin



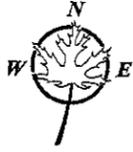
February 01, 2016

DESIGNED BY:  teska
DESIGNED FOR:  Lakeside Development Company
1500 W. MARKET ST.
SUITE 200
MEQUON, WI
53092

L-6

WETLAND MAP

NW CORNER NE
1/4 SEC 30-9-22



SCALE: 1"=100'



WEST LINE NE 1/4 SEC 30-9-22
S 01°02' 25" E 803.30'

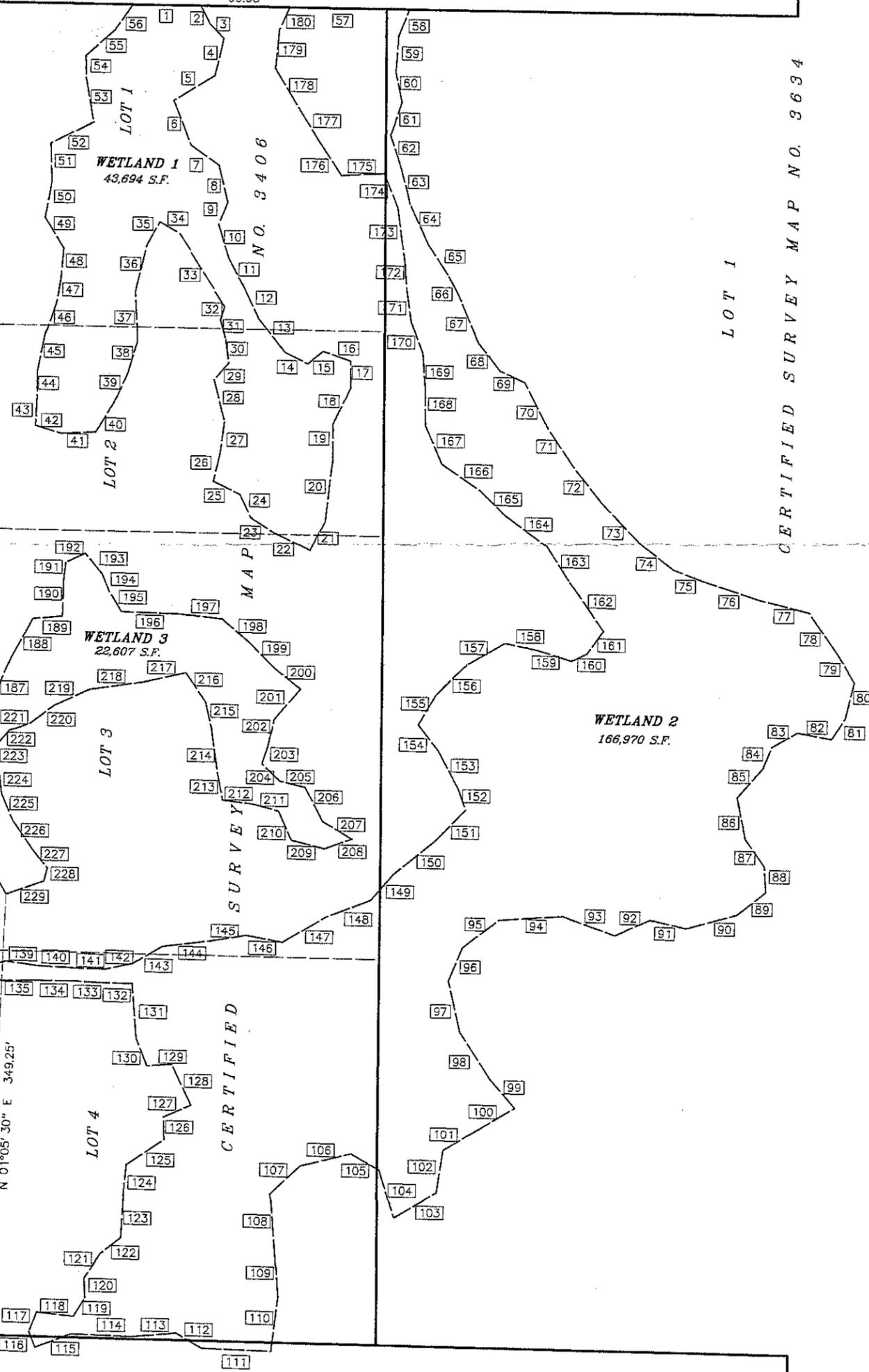
N 89°36' 20" E
137.34'

N 89°36' 20" E
69.98'

ORIOLE LANE

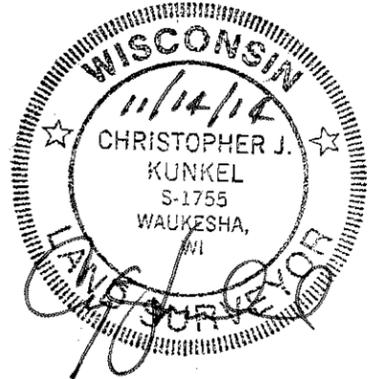
S 01°02' 25" E 1056.00'

CERTIFIED SURVEY MAP NO. 3634



N 89°37' 56" E
80.00'

N 01°05' 30" E 349.25'



EDGEWOOD SURVEYING D

14195 BEECHWOOD TRAIL • NEW BERLIN • WISCONSIN 53151
(262)366-5749 • fax (262)797-6329
EMAIL: edgewoodsurveying@att.net
www.edgewoodsurveying.com

**Wetland Delineation Report
N. Oriole Ln. Parcels
City of Mequon, Ozaukee County, WI**

Prepared for:

**Lakeside Development Company
1500 W. Market St., Suite 200
Mequon, WI 53092**

**Kathi Kramasz
Wisconsin Department of Natural Resources
Plymouth Service Center
1155 Pilgrim Road
Plymouth, WI 53073**

**Rebecca Graser
U.S. Army Corps of Engineers
Regulatory Branch
20711 Watertown Rd., Suite F
Waukesha, WI 53186**

Prepared by:

**TRC Environmental Corporation
Brookfield, WI
TRC Project 225201**

December 2014

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Appendix A: Figures

- Figure 1 – Site Location Map
- Figure 2 – Wisconsin DNR Wisconsin Wetlands Inventory Map
- Figure 3 – Natural Resource Conservation Service Soils Map
- Figure 4 – 2005 Aerial Imagery
- Figure 5 – 2008 Aerial Imagery
- Figure 6 – 2011 Aerial Imagery
- Figure 7 – Southeastern Wisconsin Regional Planning Commission Environmental Corridor Map
- Figure 8 – Southeastern Wisconsin Regional Planning Commission Land Use Map

Appendix B: WETS Analysis / Precipitation Data

Appendix C: Wetland Delineation Map

Appendix D: Site Photographs

Appendix E: Wetland Determination Data Forms

1.0 INTRODUCTION

On behalf of Lakeside Development Company Inc., TRC Environmental Corporation (TRC) conducted a wetland delineation within a designated Study Area in select parcels located along the east side of N. Oriole Ln. between Mequon Rd. and W. Sunnydale Ln. (Figure 1, Appendix A). The Study Area is located in part of Section 30, Township 9 north, Range 22 east in the City of Mequon, Ozaukee County, Wisconsin.

The purpose of this wetland delineation was to determine the current location and extent of wetlands located within designated Study Areas for the proposed development of the parcels. Our study is presented here in terms of methodology, results, and conclusions.

The wetland delineation field investigation was conducted by TRC scientists Ron A. Londré (lead investigator), Lesley Brotkowski, and Alex Meehan on September 24, 2014 and solely by Ron A Londré on October 8, 2014.

2.0 STATEMENT OF QUALIFICATIONS

TRC provides comprehensive wetland and ecological services including: ecological assessments, wetland assessments, permitting, mitigation site design and monitoring, and restoration. We have conducted hundreds of wetland identification projects. Our teams have extensive professional training and educational backgrounds in wetlands, ecology, biology, and botany.

Mr. Ron A. Londré, PWS, Senior Ecologist, has M.S. and B.S. degrees in biological science with focused studies on plant community ecology from the University of Wisconsin-Milwaukee and the University of Wisconsin-Parkside, respectively. Mr. Londré is certified by the Society of Wetland Scientists as a Professional Wetland Scientist (PWS # 2436) and the Ecological Society of America as a Certified Ecologist. Mr. Londré is also a Certified Wetland Specialist in McHenry County and Lake County, Illinois. He has over nine years professional experience as an ecological consultant specializing in wetland assessments and delineations, wetland and waterway permitting, mitigation site design and monitoring, ecological restoration, water resource studies and management planning, invasive species management, and threatened and endangered species investigations. Previously, Mr. Londré served as a college instructor and research scientist when he taught courses in biological science, environmental science, and botany while conducting research on the forces that structure plant communities and landscape and restoration ecology. Mr. Londré has completed the following wetland delineation technical training workshops: Advanced Wetland Delineation Training Workshop provided by the University of Wisconsin-La Crosse in 2013, Critical Methods in Wetland Delineation Workshop provided by the University of Wisconsin-La Crosse in 2013, Regional Supplement Seminar and Field Practicum provided by the Wetland Training Institute in 2012, Basic Wetland Delineation Training Workshop provided by the University of Wisconsin-La Crosse in 2011, and the

Wetland Delineation Training Workshop provided by the University of Wisconsin-Milwaukee in 2004. Mr. Londré served as the primary investigator for this wetland assessment.

Ms. Lesley Brotkowski, WDNR Assured Wetland Ecologist, earned a Master's Degree in Ecology and Conservation Biology from the University of Illinois at Urbana-Champaign. Ms. Brotkowski has experience with a variety of wetland delineation, habitat assessment, conservation, and restoration projects throughout Wisconsin and has completed the advanced wetland delineation training workshop and field indicators of hydric soils workshops provided by UW-La Crosse. Ms. Brotkowski is a part of the Wetland Delineation Professional Assurance Initiative of the Wisconsin Department of Natural Resources (WDNR). This means her work is assured for purposes of State of Wisconsin wetland delineations.

Mr. Alex Meehan, Biological Technician, has experience with wetland delineations, wildlife surveys, native plant habitat restoration, and invasive species management in Wisconsin. Mr. Meehan conducts wetland delineations and has been involved with invasive plant identification and management. He provides field assistance, data collection, and reporting.

3.0 REGULATORY DEFINITIONS

The current U.S. Army Corps of Engineers (USACE) regulatory definition of wetlands is "areas inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and [which] under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions" (USACE 1987). A wetland must possess the following three diagnostic environmental characteristics:

1. Hydrophytic vegetation. The prevalent vegetation must consist of macrophytes that are typically adapted to areas having hydrologic and soil conditions described in the wetland definition (above). That is, they must be adapted to actively grow in saturated soils.
2. Hydric soil. Soils must be present or they must possess characteristics that are associated with reducing soil conditions.
3. Hydrology. The area must be inundated either permanently or periodically at mean water depths less than or equal to 6.6 feet, or the soil must be saturated to the surface at some time during the growing season of the prevalent vegetation.

Professional judgment may also be used to make qualified assessments of a site when diagnostic environmental characteristics are masked, significantly disturbed, or naturally problematic.

Under Section 404, the USACE regulates all "waters of the United States" (WOUS), which includes: all waters which are currently used, were used in the past, or may be susceptible to use in interstate or foreign commerce, including all waters which are subject to the ebb and flow of the tide; all interstate waters, including interstate wetlands; the territorial seas; all impoundments

of a traditional navigable water, interstate water, the territorial seas or a tributary; all tributaries of a traditional navigable water, interstate water, the territorial seas or impoundment; all waters, including wetlands, adjacent to a traditional navigable water, interstate water, the territorial seas, impoundment or tributary; and on a case-specific basis, other waters, including wetlands, provided that those waters alone, or in combination with other similarly situated waters, including wetlands, located in the same region, have a significant nexus to a traditional navigable water, interstate water or the territorial seas.

In addition to Section 404, Section 281.36 of Wisconsin Statutes regulates all wetlands that are regulated under Section 404, including some wetlands that would not be regulated under Section 404, particularly wetlands that may be considered as “isolated” under Section 404. Such wetlands are defined as “nonfederal wetlands” in the Wisconsin Statutes.

4.0 METHODS

STANDARDS AND ANALYSIS OF EXISTING DOCUMENTS

This delineation was conducted in accordance with the guidelines of the Corps of Engineers Wetland Delineation Manual (Environmental Laboratory, 1987) and the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region (Version 2.0, 2010) and in general accordance with Wisconsin Department of Natural Resources guidelines (WI Department of Administration, WI Coastal Management Program, 1995). National Wetland Indicator status and taxonomic nomenclature is referenced from The National Wetland Plant List (Lichvar 2014). National Wetland Indicator status is based on the Midwest Region.

Prior to conducting fieldwork, TRC scientists reviewed several maps including the United States Geological Survey (USGS) 7.5' Quadrangle maps, Wisconsin Wetland Inventory Map, Natural Resource Conservation Service (NRCS) Soil Survey Map, and aerial photographs. These sources were used to identify areas likely to contain wetlands.

Precipitation data from approximately 90 days prior to the field investigation was obtained from a weather station near the Study Area and compared with 30-year average precipitation data obtained from a NRCS WETS Table for the County where the Study Area was located to determine if antecedent hydrologic conditions at the time of the site visit were normal for the time of the year.

FIELD INVESTIGATION

Areas having wetland field indicators within the Study Area were evaluated in the field by TRC wetland scientists. Data points were located in areas exhibiting wetland and upland characteristics to document the presence and/or absence of wetlands and to provide support for the delineated wetland boundaries. At each data point, data were collected to document the

vegetation, soils, and indicators of wetland hydrology. The wetland boundaries were staked using wire pin flags and when needed flagging tape. Wetland boundaries were generally determined by distinct to subtle differences in the abundance of hydrophytic vegetation and non-hydrophytic vegetation, presence versus absence of hydric soil indicators and wetland hydrology indicators, and apparent topographic breaks.

5.0 RESULTS

MAP AND INFORMATION REVIEW

The USGS topographic map (Figure 1, Appendix A) indicated that the topography of the Study Area was relatively flat. Based on the 2 foot contour data from Ozaukee Counties public GIS mapping website, land elevations ranged from 686 to 700 feet above sea level with the majority of the Study Area being between 686 and 690 feet above sea level.

The Wisconsin Wetland Inventory (WWI) map (Figure 2, Appendix A) depicted two wetlands within the Study Area. The types of wetland shown on the WWI map include S3K (scrub / shrub; broad-leaved deciduous; wet soil, palustrine) and W0Hx (Open water; subclass unknown; standing water, palustrine; excavated) which appears to be a storm water pond.

According to the NRCS Soil Survey map (Figure 3, Appendix A) three mapped soil units are located within the Study Area. The types of mapped soils and their hydric classifications are listed on Table 1 below.

Table 1. Mapped Soils

Map Unit Symbol	Taxonomic Classification	Hydric Classification
MaA	Manwa silt loam, 1-3% slopes	Partially hydric
KnB	Kewaunee silt loam, 2-6% slopes	Partially hydric
Lu	Loamy land	Partially hydric

A review of aerial photographs from 2005 through 2011 (Figures 4-6) showed that the land appeared to be mostly wooded with no detectable land use changes within the Study Area.

The SEWRPC Environmental Corridor Map (Figure 7, Appendix A) does not depict any Environmental Corridors within the Study Area.

The SEWRPC Land Use Map (Figure 8, Appendix A) shows the Study Area to be comprised of agricultural and other open lands, wetlands, and surface water. Based on a review of aerial photographs, agricultural does not reflect the current land type.

PRECIPITATION

According to the Midwestern Regional Climate Center cli-MATE database, the total precipitation from a nearby weather station (GERMANTOWN, WI3058) for the 14 days prior to the field investigation on September 24th was 0.97 inches and 1.09 inches the 14 days prior to the field investigation on October 8th. The most recent rainfall event prior to September 24th was 0.07 inches, which occurred on September 22nd. The most recent rainfall event prior to October 8th was 0.01 inches, which occurred on October 6th. The total precipitation for the 90 days prior to September 24th was approximately 6.31 inches. The total precipitation for the 90 days prior to October 8th was approximately 5.63 inches. The precipitation data for the 90 day period preceding the dates of the field investigations (Appendix B) and precipitation data from a nearby WETS station (GERMANTOWN, WI3058) were entered into WETS analysis worksheets (Appendix B) to determine whether antecedent hydrologic conditions were within a normal range for the time of the year the field investigations occurred. Based on this analysis, the precipitation total for the 90 days prior to both dates of the field investigations were considered to be below a normal range, suggesting that the surface or near-surface hydrology at the time of the site visit was not normal and that hydrologic conditions during the site visit were not typical. Based on our professional judgment and the nature of the wetlands identified and delineated, the below average rainfall is not a factor in the determination or delineation.

FIELD INVESTIGATION OF WETLANDS

Site Description

The Study Area was comprised of undeveloped parcels with naturally occurring vegetation. Plant communities within the Study Area included an immature hardwood forest, upland and wetland meadows, scrub shrub, and hardwood swamp. The Study Area was bordered on the north and south by residential properties, on the east by the Jewish Community Center property, and on the west by N. Oriole Ln. The Study Area was approximately 10 acres in size.

Wetlands

Three wetlands (Wetland 1 through Wetland 3) were delineated. The delineated wetland boundaries and sample points are shown on a map (Exhibit A) in Appendix C. Photographs were taken at sample points and other notable locations (Appendix D). Data were collected and recorded on Wetland Determination Data Forms at twelve data points to document wetland and upland locations (Appendix E).

Wetland 1

Wetland 1 was approximately 3.82 acres within the Study Area and extended outside of the Study Area to the north, south, and east. Wetland 1 consisted predominantly of a deciduous hardwood swamp and scrub shrub plant communities with small pockets of wet meadow habitat. Three wetland data points (DP-2, DP-6, and DP-10) were taken within Wetland 1 and four upland data points (DP-1, DP-3, DP-9, and DP-7) were taken in adjacent upland areas.

The dominant vegetation within Wetland 1 included *Fraxinus pennsylvanica* (green ash) in the tree stratum, *Rhamnus cathartica* (common buckthorn) in the shrub stratum, and a variety of different hydrophytes (see data forms for a list) in the herb stratum at each data point. Hydrology appeared to be sustained mainly by surface water and to a lesser extent rain water. Hydrology indicators that were observed at the wetland data points in Wetland 1 included a high water table, saturated soils, drainage patterns, geomorphic position, and a positive FAC-neutral test. Hydric soil indicators observed at the wetland data points included redox dark surface and depleted matrix.

The boundary of Wetland 1 was based on subtle topographic breaks, the boundary between the presence and absence of hydric soil, the boundary between the presence and absence of wetland hydrology indicators, and a subtle difference in the abundance of hydrophytes versus non-hydrophytes. Hydrophytic plant communities tended to extend beyond the wetland boundary into uplands along portions of the boundary and were less useful in determining the location of the boundary.

Wetland 2

Wetland 2 was approximately 0.51 acres and contained entirely within the Study Area. Wetland 2 was comprised of a deciduous hardwood swamp. One wetland data point (DP-5) and one upland data point (DP-4) were taken to document wetland and adjacent upland locations.

The dominant vegetation in Wetland 2 included *Fraxinus pennsylvanica* in the tree stratum and at data point DP-5 *Rhamnus cathartica*, *Cornus alba* (red osier dogwood), and *Fraxinus pennsylvanica* were the major dominants in the shrub stratum with *Scirpus atrovirens* (dark-green bulrush), *Carex stipata* (common fox sedge), and *Cornus alba* the major dominants in the herb stratum. Hydrology appeared to be sustained mainly by surface water and to a lesser extent rain water. Hydrology indicators observed at the wetland data point included water marks, sparsely vegetated concave surface, oxidized rhizospheres on living roots, geomorphic position, and a positive FAC-neutral test. Hydric soil indicators observed at the wetland data point included redox dark surface.

The boundary of Wetland 2 was based on subtle to distinct topographic breaks, the boundary between the presence and absence of hydric soil, the boundary between the presence and absence

of wetland hydrology indicators, and a subtle difference in the abundance of hydrophytes versus non-hydrophytes. Hydrophytic plant communities tended to extend beyond the wetland boundary into uplands along portions of the boundary and were less useful in determining the location of the boundary.

Wetland 3

Wetland 3 was approximately 1.01 acres within the Study Area and extended a short distance north beyond the Study Area. The wetland was comprised predominantly of deciduous hardwood swamp with a small pocket of wet meadow near the north Study Area boundary. Two wetland data points (DP-8 and DP-12) and two upland data points (DP-7 and DP-11) were taken in wetland and adjacent upland locations.

The dominant vegetation observed at the wetland data points included *Fraxinus pennsylvanica*, *Salix nigra* (black willow), and *Populus tremuloides* (quaking aspen) in the tree stratum, *Fraxinus pennsylvanica*, *Rhamnus cathartica*, and *Cornus racemosa* (grey dogwood) in the shrub stratum, and *Phalaris arundinacea* (reed canary grass) and *Carex stricta* (tussock sedge) in the herb stratum. Hydrology appeared to be sustained mainly by surface water and to a lesser extent rain water. Hydrology indicators observed at the wetland data points included water marks, a sparsely vegetated concave surface, geomorphic position, and a positive FAC-neutral test. Hydric soil indicators observed at the wetland data points included redox dark surface and thick dark surface.

The boundary of Wetland 3 was based on subtle topographic breaks, the boundary between the presence and absence of hydric soil, the boundary between the presence and absence of wetland hydrology indicators, and a subtle difference in the abundance of hydrophytes versus non-hydrophytes. Hydrophytic plant communities tended to extend beyond the wetland boundary into uplands along portions of the boundary and were less useful in determining the location of the boundary.

Uplands

Data Points DP-1, DP-3, DP-4, DP-7, and DP-9 were located in upland areas. Generally, upland plant communities were comprised of a deciduous hardwood forest and upland meadows. There was a relatively high proportion of hydrophytes observed within upland areas.

6.0 CONCLUSIONS

Based on the wetland assessment completed by TRC, three wetland areas (Wetland 1 through Wetland 3) totaling approximately 5.34 acres were identified within the Study Area.

There were no waterways identified within the Study Area.

The results of this field study are based on site conditions at the time of the field study, which was conducted in accordance with current regulatory policy and methods. Unknown and future conditions that affect observations of field indicators, and change in interpretation of regulatory policy or methods, may modify future findings.

The ultimate authority to determine the location of the wetland boundary and jurisdictional authority over the wetlands and waterways identified in this report resides with the USACE and WDNR. Decisions made by staff of these regulatory agencies may result in modifications to the location of the wetland and/or waterway boundaries shown in this report.

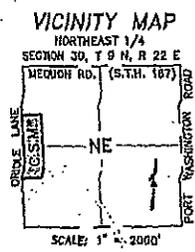
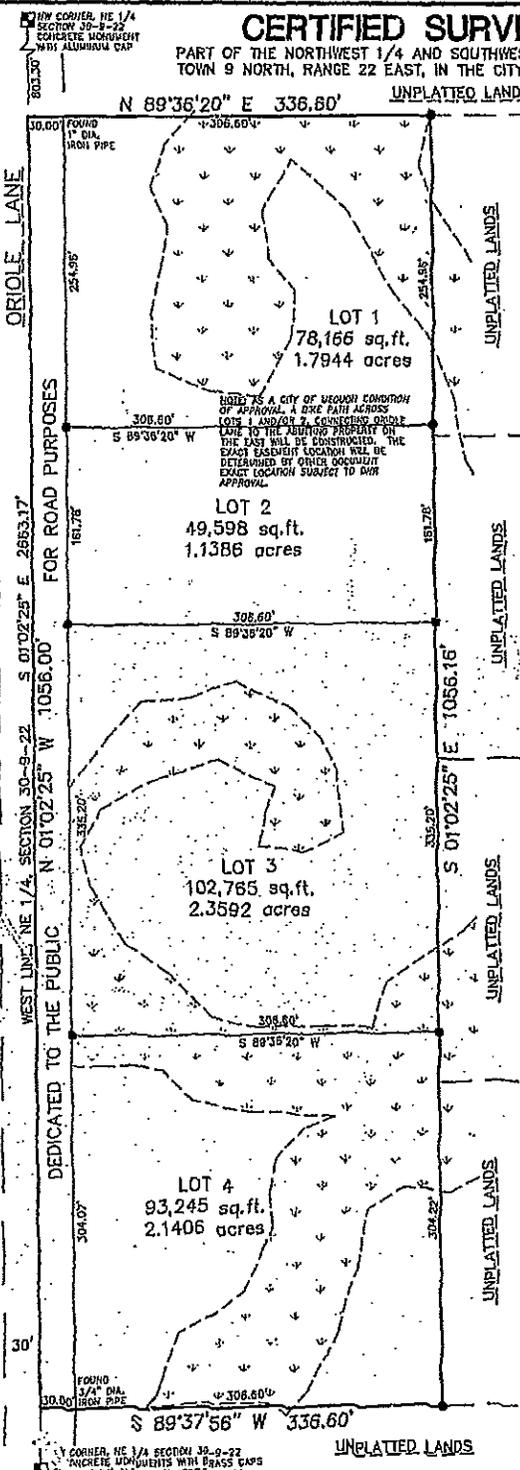
TRC recommends that coordination with the USACE and the WDNR be conducted prior to implementing any activity that is in near proximity or is within wetlands or waterways to determine if a permit would be needed to perform the activity.

7.0 REFERENCES

- Environmental Laboratory. 1987. Corps of Engineers Wetlands Delineation Manual. Technical Report Y-87-1, U.S. Army Engineer Waterways Experiment Station, Vicksburg, MS.
- Eggers, Steve D. and Donald M. Reed. 1997. Wetland Plants and Plant Communities of Minnesota and Wisconsin. 2nd Ed. U.S. Army Corps of Engineers, St. Paul District.
- Lichvar, R.W. 2014. *The National Wetland Plant List: 2014 wetland ratings*. Phytoneuron 3013-29: 1-241.
- Midwestern Regional Climate Center cli-MATE Database
<http://mrcc.isws.illinois.edu/CLIMATE/>
- Southeastern Wisconsin Regional Planning Commission (SEWRPC) Southeastern Wisconsin Regional Land Information: Regional Map Server
<http://maps.sewrpc.org/regionallandinfo/regionalmapping/RegionalMaps/viewer.htm>
- Swink, Floyd, and Gerould Wilhelm. "Plants of the Chicago region." Indianapolis: Indiana Academy of Science, 1994.
- U.S. Army Corps of Engineers. 2012. *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region (Version 2.0)*, ed. J. S. Wakeley, R. W. Lichvar, and C. V. Noble. ERDC/EL TR-10-16. Vicksburg, MS: U.S. Army Engineer Research and Development Center.
- USDA Natural Resources Conservation Service Web Soil Survey
<http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>
- USDA NRCS Climate Analysis by County Web Site (WETS). (Web Address:
<http://www.wcc.nrcs.usda.gov/climate/wetlands.html>)
- Woodward , Donald E., ed. 1997. Hydrology Tools for Wetland Determination, Chapter 19. Engineering Field Handbook. U.S. Department of Agriculture, Natural Resources Conservation Service, Fort Worth, TX.
- WI Department of Administration, WI Coastal Management Program. 1995. Basic Guide to Wisconsin's Wetlands and their Boundaries. WI Coastal Management Program, Madison, WI
- Wisconsin Department of Natural Resources Surface Water Data Viewer Web Mapping Application <http://dnrmapping.wi.gov/imf/imf.jsp?site=SurfaceWaterViewer>

CERTIFIED SURVEY MAP NO.

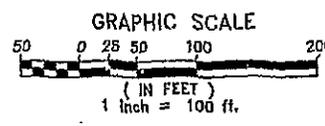
PART OF THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 30,
TOWN 9 NORTH, RANGE 22 EAST, IN THE CITY OF MEQUON, OZAUKEE COUNTY, WISCONSIN



■ INDICATES 1.315" OUTSIDE DIAMETER IRON PIPE SET, 24" LONG, WEIGHING 1.68 LBS. PER LINEAL FOOT

■ INDICATES WETLANDS FLAGGED BY MURN ENVIRONMENTAL ON 2/13/98

BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN COORDINATE SYSTEM, SOUTH ZONE (NAD'27). THE WEST LINE OF THE NE 1/4 OF SECTION 30 HAS A BEARING OF S 01°02'25" E.



National Survey & Engineering

Telephone 262-781-0000
Facsimile 262-781-8466
8747 W. Blamond Road
Suite 200
Brookfield, WI 53005-6936
www.nsewi.com
31602801510111-1114



15-030-02-018.00* 15-030-03-020.00*
15-030-02-019.00* 15-030-03-021.00*

WEST LINE, NE 1/4, SECTION 30-9-22 S. 01°02'25" E. 2663.17'
DEDICATED TO THE PUBLIC FOR ROAD PURPOSES

CORNER, NE 1/4 SECTION 30-9-22
TACKLE MONUMENTS WITH BRASS CAPS
1 5.00' ALONG 1/4 SECTION LINES

CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and the Southwest 1/4 of the Northeast 1/4 of Section 30, Town 9 North, Range 22 East, in the City of Mequon, Ozaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
):SS
WAUKESHA COUNTY)

I, DONALD C. CHAPUT, Registered Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped a Part of the Northwest 1/4 and the Southwest 1/4 of the Northeast 1/4 of Section 30, Town 9 North, Range 22 East, in the City of Mequon, Ozaukee County, Wisconsin, which is bounded and described as follows:

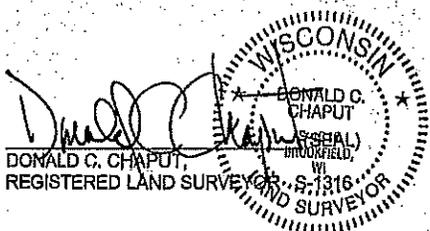
COMMENCING at the Northwest corner of said Northeast 1/4 Section; thence South 01°02'25" East along the West line of said Northeast 1/4 Section 803.30 feet to the point of beginning; thence North 89°36'20" East 336.60 feet to a point; thence South 01°02'25" East 1056.16 feet to a point; thence South 89°37'56" West 336.60 feet to the West line of said Northeast 1/4 Section; thence North 01°02'25" West along said West line 1056.00 feet to the point of beginning.

THAT I have made the survey, land division and map by the direction of MEQUON PARK CORPORATION, owner.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with Chapter 236 of the Wisconsin Statutes and Ordinances of the City of Mequon.

October 30, 2007
DATE



CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and the Southwest 1/4 of the Northeast 1/4 of Section 30, Town 9 North, Range 22 East, in the City of Mequon, Ozaukee County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

MEQUON PARK CORPORATION, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said corporation caused the land described on this map to be surveyed, divided, mapped, and dedicated as represented on this map.

MEQUON PARK CORPORATION as owner, do further certify that this map is required by S.236.20 or 236.12 to be submitted to the following for approval or objection: City of Mequon

IN Witness Whereof MEQUON PARK CORPORATION has caused these presents to be signed by Jay R. Roth, Executive V. P. at Milwaukee, Wisconsin, this 31st day of October, 2001.

In the presence of:

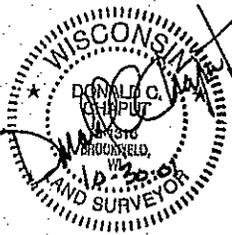
MEQUON PARK CORPORATION

Jay R. Roth
Jay R. Roth, Executive Vice President

STATE OF WISCONSIN }
 } :SS
Milwaukee COUNTY }

PERSONALLY came before me this 31st day of October, 2001, Jay R. Roth of the above named corporation, to me known as the person who executed the foregoing instrument, and to me known to be the Executive V. P. of the corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of the corporation, by its authority.

Robin J. Davis (SEAL)
Notary Public, State of Wisconsin
~~My commission expires~~
My commission is permanent.



CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and the Southwest 1/4 of the Northeast 1/4 of Section 30,
Town 9 North, Range 22 East, in the City of Mequon, Ozaukee County, Wisconsin.

CITY OF MEQUON PLANNING COMMISSION APPROVAL

APPROVED by the City of Mequon Planning Commission this 14 day of November, 2001, and
by City Council on December 19, 2012.

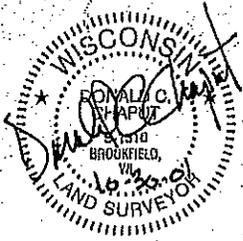
Christine Neuman
CHAIRPERSON

[Signature]
SECRETARY

RECORDED

2009 JAN 15 PM 2:00

Ronald H. Knight
REGISTER OF DEEDS
OSHAUKEE COUNTY, WI



THIS INSTRUMENT WAS DRAFTED BY DONALD C. CHAPUT,
REGISTERED LAND SURVEYOR S-1316

Resident Feedback

Jac Zader

From: Harriet Resnick <hmresnick@gmail.com>
Sent: Tuesday, February 02, 2016 4:19 PM
To: Jac Zader
Subject: Lakeside Development-Oriole Ia.

I shall be out of the State on Feb.8
however,I would like to cast my Vote AGAINST this Project!
I reside in HIDDEN RESERVE and if you
wish to contact me my phone is:
262-242-1516

Thank You for Your Kind Attentiona

Sent from my iPhone

Jac Zader

From: Julie Carpenter <carpjulie@wi.rr.com>
Sent: Tuesday, February 02, 2016 5:38 PM
To: Jac Zader; Kimberly Tollefson; John Hawkins
Subject: City Planning Commission and Alderman Hawkins

Gentlemen and Ms. Tollefson,

Since we am unable to attend the Planning Commission meeting on Monday, February 8th, we would like to express our grave concern for the proposed rezoning and development of 12 acres representing the last remaining natural and wetlands area on the east side of Oriole Lane. The development of 9 lots and homes on this parcel would have a significantly negative impact on the natural and wildlife communities in this area. Fox, deer and a huge variety of birds inhabit this area. Destruction of this natural habitat would diminish property values for current home owners for the gain of additional tax revenue.

At some point, we in Mequon must adhere to the values that make our community livable and desirable. Please consider denying this rezoning change and maintain the natural habitat of our community.

Thank you,
John and Julie Carpenter

Jac Zader

From: Maryglen Kieckhefer <mgkieck@aol.com>
Sent: Wednesday, February 03, 2016 8:35 AM
To: Jac Zader
Subject: Development on Oriole Lane

We are very concerned about the planned development on Oriole Lane. This is a natural wetlands area and serves as a buffer between what is becoming an overabundance of commercial development on Mequon Road and our residential community. There is way too much development happening in Mequon, especially commercial, and it is changing our Mequon community. We filled out a survey a year or so ago and the published results dictated that some new development was warranted to help increase our tax base, but not too much. This hasn't happened. There is so much new construction going on, especially on Mequon Road and Port Washington Road. We don't want to have our community become the new Bluemound Road area of the east. Our taxes have not been significantly reduced due to the increased tax base. Please vote no for this latest development proposal.

Thank you,
Maryglen and Robert Kieckhefer
1903 W. Hidden Reserve Road
Mequon, WI 53092

Kimberly Tollefson

From: Gaylord Dean Smith <dean350@ameritech.net>
Sent: Saturday, January 30, 2016 1:04 PM
To: Kimberly Tollefson; John Hawkins
Cc: Mequon Nature Preserve
Subject: RE: Residential Development on Oriole Lane

I note that this project is scheduled for a Planning Commission meeting Monday, February 8, 2016 at 7:00 p.m.

Would one or both of you kindly ensure that there is a firm commitment to remove the buckthorn from this property? I really struggle to remove this invasive species from our five-acre property across (west) the street as required by a City ordinance and good citizenship. Having a property near me with an infestation of buckthorn makes my compliance with this ordinance ever more challenging (and expensive), given the ability to propagate across streets and property lines.

If complying with my request is somehow not actionable kindly investigate whether the property owner (Lakeside Development Company?) will grant me permission to remove at least the mature female (berry producing) buckthorn tree directly across (east) the street from our driveway entrance at 10975 N Oriole Lane in Mequon. If desired, I would be willing to directly request this permission of the property owner if you can provide a name and contact information.

Again, assuming DNR approval regarding the wetlands on the property involved, I wish to re-express my support for the rezoning request. The land use involved proposed appears to be well conceived.

Finally, I would like to avoid attending the above-mentioned Planning Commission meeting. When I retired from a career in Human Resource management in 2004 I promised myself that I would thereafter attend as few meetings as feasible, my patience with time-consuming meetings being exhausted prior to my retirement. I suspect that you may at least mildly empathize with these feelings.

Thank you,
G. Dean Smith
10975 N Oriole Lane
Mequon, WI 53092-4913
H: 262-242-0788
M: 414-943-0788

Robin Buzzell

Subject: Proposed Development on Oriole Lane

From: Rick Frank [<mailto:rick.frank@yahoo.com>]
Sent: Thursday, February 04, 2016 8:37 AM
To: Jac Zader
Cc: Kimberly Tollefson
Subject: Proposed Development on Oriole Lane

Dear Mr. Zader,

We live in Hidden Reserve. We are very concerned with the planned development on the east side of Oriole Lane just south of Mequon Rd. So much of the valuable wetlands in our area have been destroyed or damaged, including the Sarah Chudnow campus, Children's Hospital, and the neighboring two family developments.

Increasing population density also increases traffic. There is plenty of single family development underway in other parts of Mequon that are under-populated where additional home construction would not be so damaging and disruptive.

Sincerely,

Richard Frank
10632 N Hidden Reserve Circle
Mequon
262-227-4334

Robin Buzzell

Subject: FW: proposed development on Oriole Lane/District 6

From: Barbara Frank [<mailto:barbara.frank32@gmail.com>]

Sent: Wednesday, February 03, 2016 4:50 PM

To: Jac Zader

Cc: Kimberly Tollefson

Subject: proposed development on Oriole Lane/District 6

Dear Mr. Zader,

We live in Hidden Reserve. I'm upset at the idea of development of 12 acres in District 6 close by our home, on the east side of Oriole Lane just south of Mequon Rd. So much of the valuable wetlands in our area have been destroyed or damaged, including the Sarah Chudnow campus, Children's Hospital, and the neighboring two family development.

Also, I oppose increasing the population density, to say nothing of the traffic, in our area. There is plenty of single family development underway in other parts of Mequon that are under-populated.

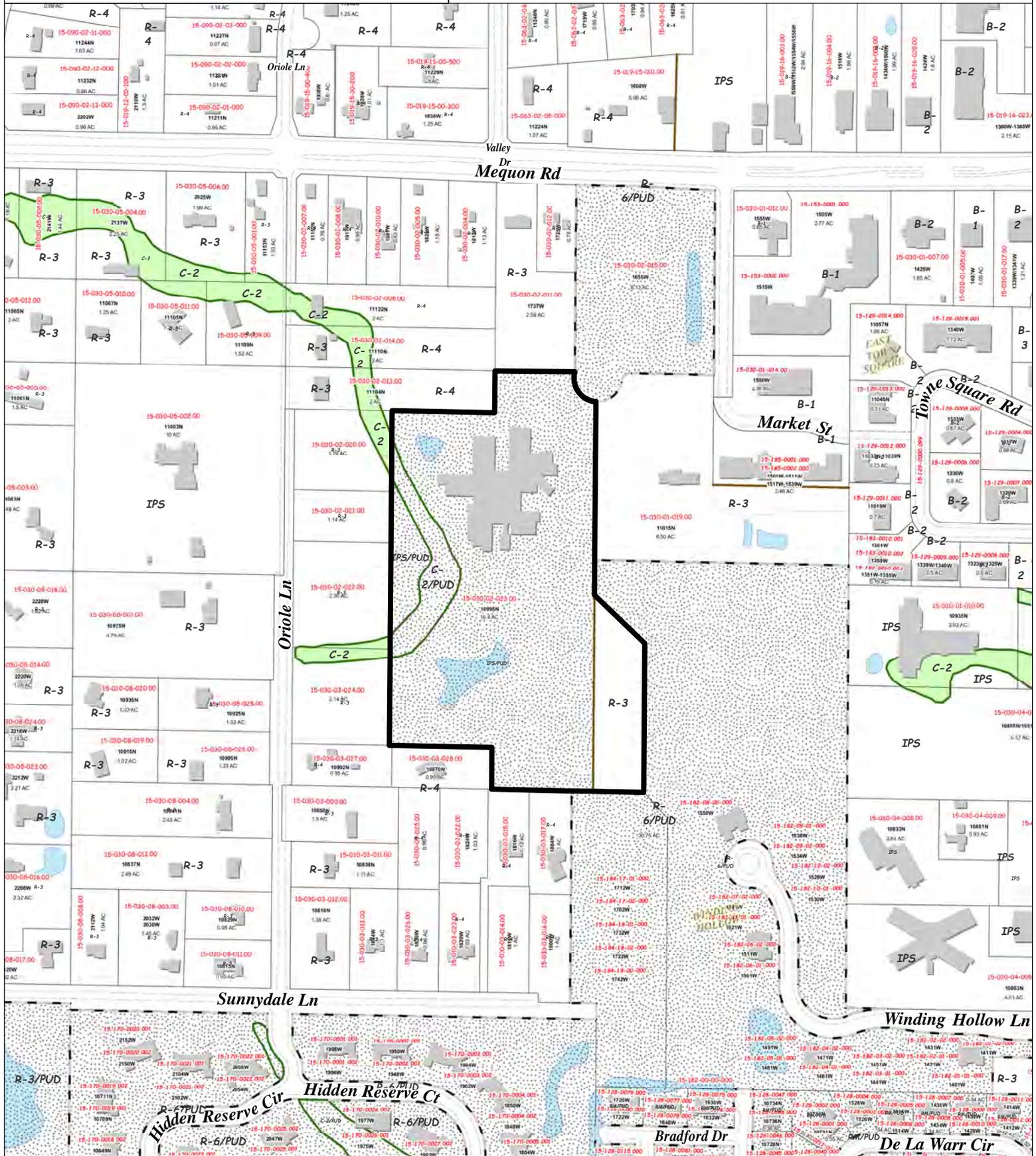
Barbara Frank
10632 N Hidden Reserve Circle
Mequon

Barbara Frank
262-389-0130

ITEM #9 - Sarah Chudnow

- AC Arrival Corridor
- A-1 Agricultural Preserve
- A-2 General Agricultural
- B-1 Neighborhood Business
- B-2 Community Business
- B-3 Office & Service Business
- B-4 Business Park
- B-5 Light Industrial
- B-6 Rural Industrial
- B-7 Rural Business
- C-1 Shoreland/Wetland Conservancy
- C-2 General Conservancy
- CGO Central Growth Overlay
- FFO Flood Fringe Overlay
- FW Floodway
- IPS Institutional & Public Service

- LTD Limited Use
- OA Agricultural Overlay
- PUD Planned Unit Development Overlay
- P-1 Park & Recreation
- R-1 Single-Family Residential (5 Ac. Min.)
- R-1B Single-Family Residential (2.5 Ac. Min.)
- R-2 Single-Family Residential (2.0 Ac. Min.)
- R-2B Single-Family Residential (1.5 Ac. Min.)
- R-3 Single-Family Residential (1.0 Ac. Min.)
- R-4 Single-Family Residential (3/4 Ac. Min.)
- R-5 Single-Family Residential (1/2 Ac. Min.)
- R-6 Single-Family Residential (4 du/Ac)
- RM Multi-Family Residential
- TC Town Center
- TDR Transfer of Development Rights



ITEM #9 - Sarah Chudnow



STAFF REPORT

To: Mequon Planning Commission

Prepared by: Jac Zader

Agenda Item: 9

Date: February 8, 2016

General Information:

Applicant:

Lakeside Development

Status of Applicant:

Agent

Requested Action:

PUD Rezoning Amendment

Existing Use:

Continuum of Care

Existing Zoning:

IPS (Institutional)
PUD (Planned Unit Development
Overlay)
C-2 (Critical Environment)

Land Use Plan:

Institutional

Lot Size:

19.4 acres

Location:

10995 N Market Street

Background:

The applicant is requesting a rezoning recommendation amendment for the Sarah Chudnow Campus, a continuum of care facility located at 10995 N Market Street. The development was approved as part of a Planned Unit Development in 2002 (Ordinance 2002-1049) and amended in 2014 (Ordinance 2014-1434). The approved plan consisted of 100 living units with different levels of care. All the public improvements have been installed and all of the units have been constructed. The amendment allows for the removal of 2.5 acres from the overall PUD area.

PUD Amendment:

The PUD amendment is being requested to remove 2.5 acres from the PUD area that would be used as part of the Lakeside Development proposal on Oriole Lane. The existing PUD states that the overall maximum density shall be 5.75 units per acre and there are currently 100 units in the facility. After subtracting the 2.5 acres from the overall land area, the density increases to 5.94 units per acre. The increase in density is negligible and well within the parameters of other approved facilities of similar character. For example, the Newcastle Campus has a density of 6.89 units an acre.

STAFF REPORT

Staff Recommendation:

Planning staff recommends approval of the rezoning recommendation subject to the following conditions:

1. Common Council approval of the rezoning recommendation
2. The PUD zoning shall not go into effect until the boundary line adjustment between the two properties is completed.

Prepared By: _____



ORIOLE LANE DEVELOPMENT: Aerial Context Plan
Mequon, Wisconsin



February 01, 2016

DESIGNED BY: **LEGEND FOR**
Legend Development
Company
1997 N. W. 24th St.
MILWAUKEE, WI 53222

**COMMON COUNCIL
OF THE
CITY OF MEQUON**

ORDINANCE NO. 2002-1049

To amend the map portion of the “Development Ordinance of the City of Mequon” (i.e., Chapter 3) with respect to 17.4 acres of land located south of 1737 W. Mequon Road (Mequon Jewish Terrace)

THE COMMON COUNCIL OF THE CITY OF MEQUON, OZAUKEE COUNTY, STATE OF WISCONSIN, DO ORDAIN AS FOLLOWS:

SECTION I. Following recommendation of the Planning Commission on the 5th day of August, 2002, and after due notice and hearing by the Common Council of the City of Mequon on the 17th day of September, 2002, the existing and official City of Mequon district zoning maps are hereby amended so as to change the zoning classification of property as legally described in Exhibit A from R-4 (i.e., ¾-acre, single-family residential) and C-2 (general conservancy) to IPS (institutional), PUD (planned unit development) and C-2 subject to the following special considerations:

1. The developer is entitled to a maximum density of 5.75 units per acre (i.e., 100 living units) distributed in the following manner:
 - Independent living (41 units)
 - Assisted living (25 units)
 - Nursing home (20 units)
 - Hospice care (5 units)
 - Memory care (9 units)
2. Final site plan, architectural plan, landscaping plan, open space management/stewardship plan, lighting plan, and signage plan details, and all subsequent amendment thereto, shall be subject to conditional use grant approval by the Planning Commission, and shall be additionally subject to review and approval by the Common Council.
3. Grading, drainage, erosion control, and other engineering plans are subject to Engineering Department review and approval. The Engineering Department reserves the right to consult with private engineering firms on these matters.
4. Road improvements at the intersection of Mequon Road and Market Street are subject to Wisconsin Department of Transportation approval and are to be funded by the applicant/developer.
5. Development impact adjacent to the wetland areas shall be subject to appropriate Wisconsin Department of Natural Resources and U.S. Army Corps of Engineers approval.
6. Any substantial change to the general concept plans illustrated in the attached exhibits shall require appropriate amendment to this ordinance and, if necessary, the approved conditional use grant.
7. Potable water for this development shall be provided by WE Energies Water Services.
8. Specimen trees, as identified by the City Forester, shall not be damaged or destroyed as a result of this development without appropriate approval by the City.

9. The Common Council shall approve a "fees in-lieu of taxes" agreement with the developer prior to this ordinance taking effect.
10. The developer shall fund the installation of wiring for a future signal at the intersection of Mequon Road and Market Street in accordance with the Wisconsin Department of Transportation and City of Mequon Engineering Department review and approval.
11. The developer shall fund a traffic study investigating the need and/or warrant for signalization at the intersection of Mequon Road and Market Street. The traffic engineer conducting the study shall be contracted by the City of Mequon and the study shall be conducted approximately one (1) year from the date of occupancy permitting.
12. Cost for installation of a future signalized intersection shall be assessed to area-wide development based on the development's proportionate share of impact necessitating signalization.

SECTION II: All ordinances or parts of ordinances contravening the terms of this ordinance are hereby to that extent repealed.

SECTION III: This ordinance shall take effect and be in full force upon its passage, publication, and Common Council approval of a "fee in-lieu of taxes" agreement.

Approved: _____
Christine Nuernberg, Mayor

Date Approved: _____

This is to certify that the foregoing ordinance was adopted by the Common Council of the City of Mequon, Wisconsin at a meeting held on the _____ day of _____, 2002.

Lee Szymborski, City Clerk

Published: _____

COMMON COUNCIL
OF THE
CITY OF MEQUON

ORDINANCE NO. 2014-1434

To amend the map portion of the "Development Ordinance of the City of Mequon" (i.e., Chapter 3) with respect to 19.4 acres of land located at 10995 W Market Street. This Ordinance serves to amend previously approved Ordinance 2002-1049 regarding the Sarah Chudnow Campus

THE COMMON COUNCIL OF THE CITY OF MEQUON, OZAUKEE COUNTY,
STATE OF WISCONSIN, DO ORDAIN AS FOLLOWS:

SECTION 1. Following recommendation of the Planning Commission on the 8th day of September 2014, and after due notice and hearing by the Common Council of the City of Mequon on the 14th day of October 2014, previously approved Ordinance 2002-1049 shall be amended so as to change the total number of living units and the number of units designated per type of care.

1. Ordinance 2002-1049 Section 1, Condition 1 shall read as follows:

The developer is entitled to a maximum density of 5.75 units per acre distributed in the following manner:

- Independent living (45 units)
- Assisted care (remaining units)

2. The building footprint and exterior shall remain consistent with the original approval. Any substantial changes to the plan will require an amendment to the PUD.

3. All other conditions identified in Ordinance 2002-1049 shall remain in force.

SECTION II: All ordinances or parts of ordinances contravening the terms of this ordinance are hereby to that extent repealed.

SECTION III: This ordinance shall take effect and be in full force upon its passage and the day after publication.

Approved: Dan Abendroth, Mayor_

Date Approved: October 30, 2014

This is to certify that the foregoing ordinance was adopted by the Common Council of the City of Mequon, Wisconsin at a meeting held on the 14th day of October, 2014.

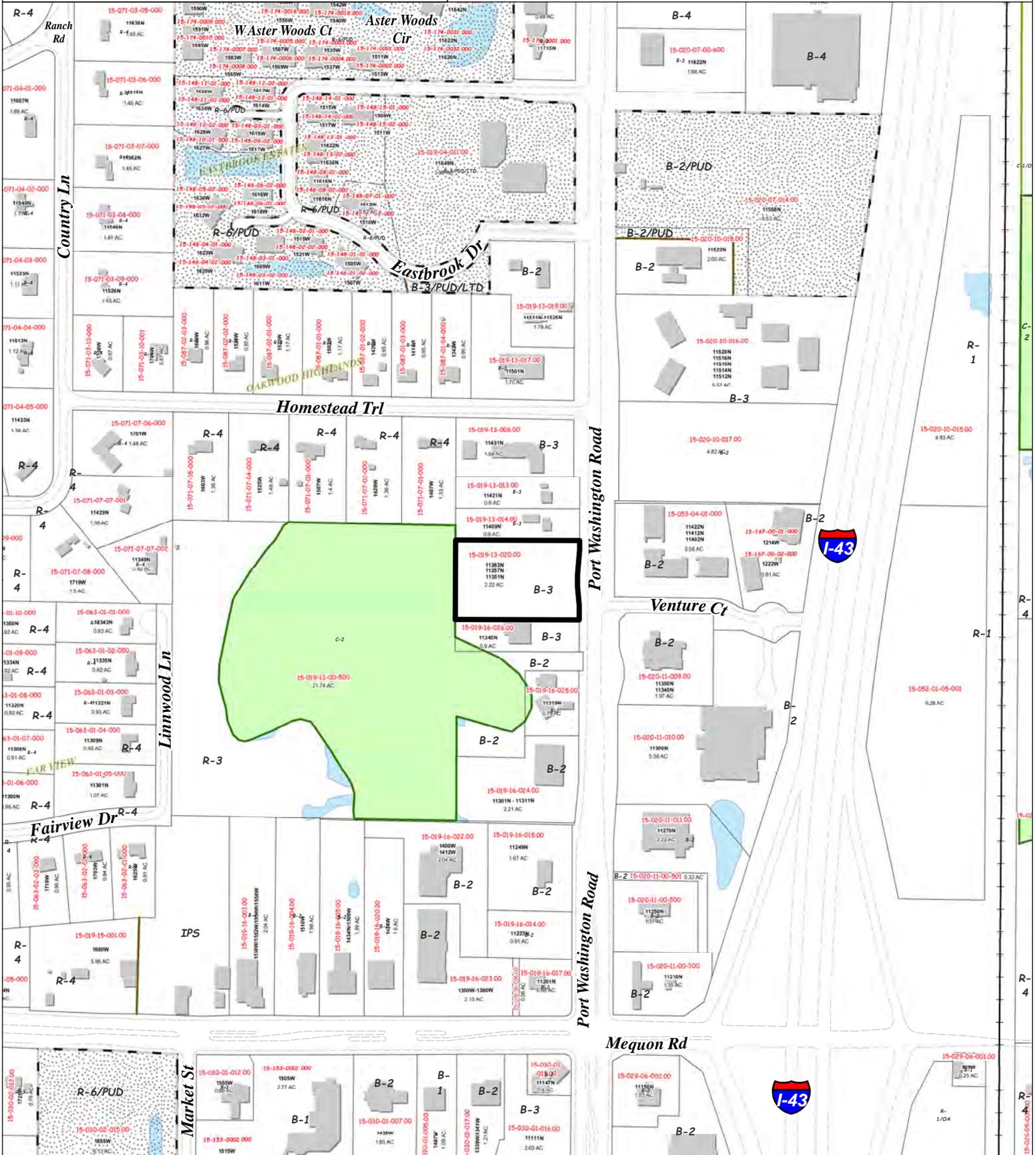
Jesse R Thyges, Acting City Clerk

Published: November 6, 2014

ITEM #10 - Kohler Credit Union

- AC Arrival Corridor
- A-1 Agricultural Preserve
- A-2 General Agricultural
- B-1 Neighborhood Business
- B-2 Community Business
- B-3 Office & Service Business
- B-4 Business Park
- B-5 Light Industrial
- B-6 Rural Industrial
- B-7 Rural Business
- C-1 Shoreland/Wetland Conservancy
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- R-3 Single-Family Residential (1.0 Ac. Min.)
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- R-6 Single-Family Residential (4 du/Ac)
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- TC Town Center
- TDR Transfer of Development Rights



ITEM #10 - Kohler Credit Union



STAFF REPORT

To: Mequon Planning Commission

Prepared by: Jac Zader

Agenda Item: **10**

Date: February 8, 2016

General Information:

Applicant:

City Commercial Real Estate
Brian Starr

Status of Applicant:

Agent

Requested Action:

Rezoning Recommendation
Land use Plan Amendment

Existing Zoning:

B-3 (Office)

Proposed Zoning:

B-2 (Community Commercial)

Existing Land Use Plan:

Office

Proposed Land Use Plan:

Community Commercial

Lot Area:

2.22 Acres

Location:

11351 - 11363 N Port Washington
Road.

Background:

The applicant is seeking a rezoning recommendation for the property located at 11351 - 11363 N Port Washington Road. Currently, the parcel contains a multi-tenant building that includes the Kohler Credit Union and Powers Realty and is zoned B-3(Office). The applicant is requesting to rezone the parcel to B-2 (Community Commercial) in order to attract a wider range of potential tenants.

Rezoning Analysis: Some factors to consider when analyzing a rezoning request include:

- **Is the proposed rezoning consistent with existing and Surrounding Land Use Designations?** The Land Use Plan Map designates the site as Office. The proposed B-2 zoning classification would allow for retail uses including fast food restaurants. Other land use designations in the area include Community Commercial, Office, and Residential 1 -1.5 acres. A change in the land use and zoning for this parcel could set a precedent for the other adjacent parcels which to the same zoning and land use plan designation. This has the potential of increasing the intensity of uses on the west side of Port Washington Road.

Staff feels this in contrary to the original intent for the B-3 zoning designation for these parcels which was to require less intense uses as buffer to the single family homes to the west. This is similar to what occurred when the parcel that contains the Taco Bell was rezoned from B-3 to B-2. The surrounding neighborhood objected to the use at the time of the Conditional Use Grant approval, however, in that case the parcel did not directly abut single family dwellings.

- **Is there a Public Interest?** While it is important to ensure that an existing development is successful in attracting and retaining quality tenants, this should not prevail over sound land use policy decisions. While the limited number of permitted and conditional uses allowable under the B-3 may result in a longer lease procurement timeframe, these regulations were in place at the time the building was constructed and were known by the current property owner.

- **Are there reasonable uses under existing zoning?**
There are a number of uses in the B-3 district that are reasonable for the site. Permitted uses include professional offices and services and financial institutions while sit down restaurants are classified as conditional use. Rezoning the property to B-2 would permit retail trade establishments as well as personal service establishments. The B-2 zoning district does allow for fast food and other restaurants as a conditional use. According to the applicant, the rezoning request is based on loss of potential tenants that may have been complementary to the existing office uses but were not permitted or conditional in the B-3. Staff recommends that a text amendment be more appropriate.

- **Has there been a change in character or trend in development in area of proposal?**

The Port Washington Road corridor remains a mix of office, service and retail uses with the most intense uses located on the east side of the road. New development in the area include the two recently approved medical office buildings (Children's Hospital and Froedert Clinic) as well as the Leonard Insurance building which is directly to the west of the Kohler Credit Union. These new developments will continue to add to the overall vitality of the area and will result in new tenant opportunities for parcels like the Kohler Credit Union site without modifying the current zoning classification.

Staff Recommendation:

Planning staff recommends **denial** of the rezoning to B-2 and Land Use Plan Map amendment to Community Commercial.

Prepared By: _____



January 21, 2016

Mr. Jac Zader
Assistant Director of Community Development
City of Mequon
11333 N. Cedarburg Road
Mequon, WI 53092-1930

RE: Request to change zoning from B-3 to B-2 / 11357 North Port
Washington Road / Kohler Credit Union Building

Dear Mr. Zader:

In an effort to help market the above-referenced property, we are requesting that the zoning classification be changed to B-2 from B-3. The B-2 zoning includes many uses that we feel would complement our existing business.

We recently lost three potential tenants, two related to fitness and a dry cleaner, because the B-3 zoning did not include these uses. A physical therapist currently has interest but includes fitness classes as a part of her business model. Under the current zoning, we cannot move forward.

Because the building was recently built and there are only two spaces in addition to the Credit Union, nothing will change related to design or site layout. The current zoning was in place when the site was purchased and the Kohler Credit Union did not require a zoning change. They, too, are very concerned about the type of use within their building but are requesting that they have more flexibility with the leasing efforts.



Please consider our request for a zoning change. This is a high value development that needs the ability to lease to businesses that complement the Credit Union and are not closely related to the current financial use.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian Starr". The signature is written in a cursive, flowing style with a long horizontal stroke extending from the end.

Brian Starr

STAFF MEETING FOR DEVELOPMENT INQUIRIES: JANUARY 2016

PROJECT TYPE W. ESTIMATED VALUE BY LOCATION

TOWN CENTER

Town Center Loan
Program for Ruby Tap

Mixed-Use \$30M

New Development:
Residential MF use

Mixed-Use \$19M

New Development:
Senior Living Apts.

City Facility Uses

PORT

Redevelopment site
in TID #4

OTHER COMMERCIAL

Restaurant Redevelopment

Industrial manufacturing use-
Redevelopment

Industrial manufacturing use -
New

Revolving Loan Fund Program for
Commercial user

RESIDENTIAL

Conservation Subdivision